

St John Fisher Catholic Primary School

2 Hicks Lane, Tumby Umbi, NSW, 2261

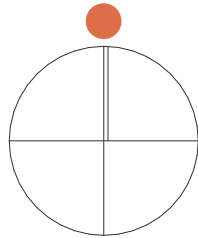
Development Application

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Property Development Data	
Address	2 Hicks Lane, Tumby Umbi, NSW, 2261
Lot & DP	DP 749854
Local Council	Central Coast Council
Site Area	29,051m²
NCC Classifications	9b



A	LDW	23/01/2023	Initial Issue
C	JWV	24/03/2023	DA Issue
No	Initial	DATE	REVISION DETAILS



CLIENT	
Catholic Schools Broken Bay	
Catholic Schools Broken Bay PO Box 967, Pennant Hills, NSW, 1715	
PROJECT	
St John Fisher Catholic Primary School	
2 Hicks Lane, Tumby Umbi, NSW, 2261	
New Classroom & Amenities Building	

DRAWING TITLE	
Development Application	
Cover Sheet	

PROJECT No		DRAWING No		REVISION	
21027		DA001		C	
DRAWING SCALE		SHEET SIZE		DATE	
		A1		24/03/2023	
DRAWN		CHECKED			
LD		MMCG/LD			

ARCHITECT		T. (02) 9929 6777	
Gardner Wetherill Assoc.		E. design@gardnerwetherill.com.au	
Suite 2.01 Level 2		A/CN 104 676 833	
460 Pacific Highway		Notified Architect - Tully Wetherill (Reg No 19462)	
St Leonards NSW 2065		Allison Ross Gardner (Reg No 3949)	



GENERAL SPECIFICATION NOTES:

- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH:
- ALL RELEVANT & CURRENT BUILDING CODES, ACTS AND REGULATIONS.
 - ALL CURRENT AUSTRALIAN STANDARDS.
 - THE REQUIREMENTS OF ANY RELEVANT SERVICE AUTHORITY OR UTILITY.
 - ALL LOCAL GOVERNMENT AUTHORITY REGULATIONS.
 - ALL CONDITIONS OF CONSTRUCTION CERTIFICATION.
 - THE MANUFACTURERS WRITTEN INSTRUCTIONS & REQUIREMENTS.

SECTION J

- ALL WORK TO BE UNDERTAKEN TO ACHIEVE COMPLIANCE WITH THE REQUIREMENTS OF SECTION J AND THE PROJECT SECTION J REPORT.
- CERTIFICAION OF COMPLIANT PROVISION AND INSTALLATION OF INSULATION IN ACCORDANCE WITH THE APPROPRIATE PROVSIONS OF J1.1 TO BE PROVIDED FOR OCCUPATION CERTIFICATE APPLICATION
- BUILDING TO BE SEALED TO ACHIEVE COMPLIANCE WITH PART J3

ALL WORKS ARE TO COMPLY WITH THE REQUIREMENTS AND DETAILS OF THE PREOJECT FIRE ENGINEERING REPORT.

PAYALL RELEVANT FEES TO COUNCIL / UTILITIES / AUTHORITIES

THE CONTRACTORS ARE TO FAMILIARISE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND WILL BE DEEMED TO HAVE INCLUDED ALL LABOUR AND MATERIALS, ALL ACCESSORIES, TRIMS, FIXINGS AND THE LIKE NECESSARY TO COMPLETE THE WORKS TO A HIGH STANDARD OF CONSTRUCTION AND FINISH.

MEANS OF SITE ACCESS AND LOCATION OF SITE OFFICE, MESSING FACILITIES, ABLUTIONS, SITE STORAGE AND RUBBISH BINS TO BE AS AGREED WITH THE OWNER / ARCHITECT .

ALLOW FOR TEMPORARY HOARDINGS DURING CONSTRUCTION PERIOD AS REQUIRED. PROVIDE SUITABLE DUST, NOISE AND SAFETY PROTECTION TO ADJACENT AREAS. PREPARE A WORK METHOD STATEMENT ADDRESSING ALL SAFETY ISSUES PRIOR TO COMMENCING WORK INCLUDING HOARDINGS, SCAFFOLDING SHORING AND THE LIKE, ALL IN ACCORDANCE WITH WORKCOVER AUSTRALIA REQUIREMENTS AND WH&S LEGISLATION.

REFER TO DEMOLITION SCHEDULE. PREPARE A DILAPIDATION SURVEY OF AREAS ADJOINING THE PROPOSED WORK AREA AND SUBMIT TO PROPRIETOR PRIOR TO COMMENCING WORK.

ALL DEMOLITION / SITE STRIP OUT WORK IS TO BE CARRIED OUT IN A SAFE & CAREFUL MANNER. ALL EXISTING SURFACES ARE TO BE PROTECTED. ALL EXISTING SERVICES TO BE MAINTAINED ARE TO BE NEATLY COILED AND TAGGED. MAKE GOOD ANY DAMAGE TO SERVICES AND ADJOINING SURFACES RESULTING FROM THE DEMOLITION.

ALL SERVICES IN THE BUILDING NOT FORMING PART OF THE WORKS ARE TO BE MAINTAINED IN AN OPERATING MANNER

TAKE CARE WITH THE PENETRATION OF EXISTING SLABS. ALL PENETRATIONS TO BE APPROVED BY THE STRUCTURAL ENGINEER.

ALL LONG LEAD TIME ITEMS TO BE ORDERED IN A TIMELY MANNER TO ENSURE AVAILABILITY.

ALL PRODUCTS TO BE AS SPECIFIED. IF THE CONTRACTOR WISHES TO PROVIDE AN ALTERNATIVE EQUIVALENT PRODUCT, FULL TECHNICAL DETAILS AND SAMPLES ARE TO BE SUBMITTED FOR ARCHITECTS WRITTEN APPROVAL BEFORE ORDERING OR UNDERTAKING THE WORK.

PROVIDE SHOP DRAWINGS FOR REVIEW FOR ALL FABRICATED ITEMS SUCH AS METAL WORK, WINDOWS, DOORS, LOUVRES, JOINERY, KITCHEN LAYOUTS ETC. PROVIDE DRAWINGS IN A TIMELY MANNER TO ENSURE COMPLETION IS ACHIEVED.

ALL WORK TO BE DONE IN A WORKMANLIKE MANNER, TO BEST PRACTICE STANDARD AND TO BE NEAT AND CLEAN. ALL JUNCTIONS OF NEW WITH EXISTING SURFACES TO ALIGN AND BE NEATLY FINISHED. PROVIDE ALL NECESSARY ITEMS TO SATISFACTORILY COMPLETE THE WORKS TO A FIRST CLASS STANDARD WHETHER OR NOT THEY ARE SPECIFICALLY SPECIFIED AND / OR NOTED.

THOROUGHLY AND CAREFULLY PREPARE ALL SURFACES AND SUBSTRATES TO BE RETAINED PRIOR TO THE APPLICATION OF NEW FINISHES, LININGS AND THE LIKE.

ALLOW FOR CONTROL / CONSTRUCTION JOINTS AS REQUIRED IN ACCORDANCE WITH AUSTRALIAN STANDARDS. MANUFACTURERS WRITTEN INSTRUCTIONS TAKE PRECEDENCE OVER, AND GOOD BUILDING PRACTICE. ALLOW FOR CONTROL / CONSTRUCTION JOINTS IN APPLIED FINISHES TO ALIGN WITH THOSE OF THE SUBSTRATE.

ALL SERVICES CABLING, CONDUITS, PIPEWORK TO BE CONCEALED. EXPOSED SURFACE MOUNTED SERVICES WILL **NOT** BE ACCEPTED.

ALL MATERIALS ARE TO MATCH THE EXISTING ADJACENT SURFACE UNLESS NOTED OTHERWISE.

ALL MATERIALS ARE TO BE NEW UNLESS NOTED OTHERWISE.

MAKE GOOD ALL SURFACES DISTURBED BY THE WORKS BY MATCHING TYPE, FINISH, TEXTURE AND COATING OF EXISTING UNLESS NOTED OTHERWISE.

ALL EXISTING BUILDING SERVICES CONNECTIONS AND LOCATIONS ARE TO BE CHECKED BEFORE WORK COMMENCES. NOTIFY AND OBTAIN APPROVAL FROM RELEVANT AUTHORITIES.

ALL RE-USABLE ITEMS SUCH AS LIGHT FITTINGS, DOOR FURNITURE, FIXTURES, FITTINGS, EQUIPMENT AND THE LIKE, IF NOT REQUIRED FOR THE WORK ARE TO BE RETURNED TO THE PROPRIETOR OR DISPOSED OF AS DIRECTED. ALL REDUNDANT FITTINGS, SERVICES, BRACKETS CABLING AND THE LIKE TO BE REMOVED AND SURFACES MADE GOOD.

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION OR MANUFACTURE. ANY VARIATIONS OR DIFFERENCES ARE TO BE REFERRED TO THE ARCHITECT FOR DIRECTION PRIOR TO UNDERTAKING THE WORK. ANY WORK UNDERTAKEN WITHOUT CONFIRMATION OF DIMENSIONS OR APPROVAL BY THE ARCHITECT SHALL BE TOTALLY AT THE CONTRACTORS RISK.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.

THE CONTRACTOR IS TO LIAISE WITH THE ARCHITECT / PROJECT MANAGER AND COORDINATE ALL DOCUMENTATION (BY GWA & OTHERS) INCLUDED AS PART OF THE WORKS.

ALL BUILDING WORKS IN CONNECTION (BWIC) WITH SERVICES AND JOINERY TO BE ALLOWED FOR AND DEEMED TO BE INCLUDED IN THE ACCEPTED TENDER PRICE.

CONSTRUCTION DETAILS SHOWN ARE TYPICAL OF THE STANDARD AND FINISH REQUIRED THROUGHOUT THE WORK EVEN WHERE A SPECIFIC DETAIL IS NOT SHOWN.

WHEN THE CONSTRUCTION OR ITEM IS OBVIOUSLY INFERRED OR IS USUAL AND PROPER IN THE CLASS OF WORK GENERALISED IN THE DRAWINGS, IT SHALL BE DEEMED TO BE INCLUDED IN THE WORK NOTWITHSTANDING THAT SUCH CONSTRUCTION OR NECESSARY ITEMS ARE NOT SPECIFICALLY MENTIONED ON THE DRAWINGS OR IN THE SPECIFICATION.

IF AN ITEM OF WORK OR COMPONENT THAT IS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORKS IS NOT SPECIFIED OR SHOWN ON THE DRAWINGS, THE WORK OR COMPONENT SHALL BE OF GOOD QUALITY COMMENSURATE WITH THE STANDARD OF THE BALANCE OF THE WORKS AND SATISFACTORY TO THE ARCHITECT.

THE CONTRACTOR IS TO ENSURE THAT THE SITE AND SURROUNDING ADJACENT AREAS ARE CLEANED IN A PROFESSIONAL MANNER PRIOR TO HANDOVER. ALL RUBBISH IS TO BE REMOVED FROM THE SITE AT THE END OF EACH WORKING DAY. WASTE TO BE SORTED ON SITE AND REMOVED TO COUNCIL APPROVED TIPS OR RECYCLE DEPOTS WHEREVER POSSIBLE.

UNLESS NOTED OTHERWISE PROVIDE 5% SPARE OF CEILING TILES, CARPET, SHEET FLOORING, CERAMIC TILES AND MINIMUM FOUR LITRES OF EACH COLOUR OF PAINT WHERE NOMINATED AND DELIVER TO THE NOMINATED STORAGE AREA.

ON COMPLETION, THE CONTRACTOR TO PROVIDE CERTIFICATION OF ALL COMPONENTS AND SERVICES AS REQUIRED BY THE CONSTRUCTION CERTIFICATE AND THE CERTIFYING AUTHORITY. REQUEST PCA CERTIFICATION ON COMPLETION IF A CONSTRUCTION CERTIFICATE HAS BEEN ISSUED.

THE CONTRACTOR SHALL COMMISSION ALL EQUIPMENT TO THE SATISFACTION OF THE CONSULTANTS / PROPRIETOR.

ALL MANUFACTURERS WARRANTIES & GUARANTEES (WHERE APPLICABLE), MAINTENANCE INSTRUCTIONS, OPERATING MANUALS AND AS-BUILT DRAWINGS TO BE GIVEN TO THE PROPRIETOR, IN BOTH HARD AND ELECTRONIC FORMAT, PRIOR TO ISSUANCE OF PRACTICAL COMPLETION CERTIFICATION.

ON COMPLETION PROVIDE A LIST OF ALL SUB-CONTRACTORS USED TO UNDERTAKE THE PROJECT AND THEIR CONTACT DETAILS.

DEMOLITION WORKS

DISCLAIMER

THIS DRAWING HAS BEEN PROVIDED FOR CONTRACTOR'S INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE FULL EXTENT AND NATURE OF DEMOLITION AND MAKE GOOD WORKS BASED ON ALL THE TENDER DOCUMENTATION AND THEIR OWN CONSTRUCTION METHODOLOGY FOR UNDERTAKING THE WORKS.

THE CONTRACTOR IS RESPONSIBLE FOR ALLOWING FOR ANY AND ALL DEMOLITION WORKS REQUIRED FOR THE COMPLETION OF THE WORKS, INCLUDING TEMPORARY SUPPORT AND MAKING GOOD TO EXISTING AREAS OF THE BUILDING TO REMAIN.

NOTE:

- 1.0 GENERAL**
1.1 WORK, AND HENCE DEMOLITION, TO BE CARRIED OUT IN STAGES. REFER TO STAGING PLAN
1.2 MUD AND SOIL FROM VEHICULAR MOVEMENTS TO & FROM SITE MUST NOT BE DEPOSITED ON THE ROAD. CLEAN TRUCKS BEFORE LEAVING SITE
1.3 ALL ITEMS SHOWN DOTTED TO BE DEMOLISHED UNLESS SPECIFICALLY NOTED TO BE SALVAGED FOR REUSE OR RETENTION BY SCHOOL
1.4 REFER TO SPECIFICATION FOR ITEMS NOTED TO BE SALVAGED FOR INCORPORATION INTO THE NEW WORKS OR RETURNED TO THE SCHOOL
1.5 EXISTING FENCE TO BE REMOVED TO BE DISPOSED OF.
- 2.0 ELECTRICAL DEMOLITION**
2.1 REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR INSTRUCTIONS ON REMOVAL OF EXISTING ELECTRICAL ITEMS.
2.2 ALL EXISTING GPWS ARE TO BE RETAINED AND MAINTAINED.
2.3 REMOVE ALL REDUNDANT DATA, ELECTRICAL, AV, SMOKE DETECTION AND OTHER CABLING THAT WILL NOT BE USED IN THE COMPLETED BUILDING.
- 3.0 PROTECTION WORKS**
3.1 THE CONTRACTOR IS REQUIRED TO PROTECT ANY SURFACE AND FINISH THAT IS REQUIRED TO REMAIN AS PART OF THE WORKS. ANY DAMAGE TO THESE SURFACES WILL BE THE CONTRACTORS RESPONSIBILITY AND COST TO REPAIR OR REPLACE THE DAMAGED ITEM TO THE ARCHITECT'S SATISFACTION.
- 4.0 EXCAVATION WORKS**
4.1 EXTENT OF EXCAVATION TYPICALLY, CONTRACTOR IS TO REFER TO CIVIL DOCUMENTS FOR DETAILS OF REQUIRED LEVELS. CONTRACTOR IS RESPONSIBLE FOR MAKING ALLOWANCES TO UNDERTAKE ALL EXCAVATION WORKS AS NEEDED TO COMPLETE THE WORKS, AND REUSE/DISPOSE OF ANY EXCESS FILL AS PART OF THEIR TENDER.
- 5.0 BUILDING DEMOLITION**
5.1 WHEN REMOVING (n)JOINERY CAP OFF ALL SERVICES BEHIND THE LINE OF THE (n)LINING. MAKE GOOD ALL SURFACES TO ENSURE THAT (n)LININGS SIT SMOOTHLY.
5.2 ALL ITEMS SHOWN DASHED IN RED TO BE DEMOLISHED UNLESS SPECIFICALLY NOTED TO BE SALVAGED FOR REUSE OR RETENTION BY THE CLIENT
5.3 REFER TO SPECIFICATION FOR ITEMS NOTED TO BE SALVAGED FOR INCORPORATION INTO THE NEW WORKS OR RETURNED TO THE SCHOOL
5.4 MAKE GOOD TO ALL SURFACES IN PREPARATION FOR NEW WORKS TO MEET REQUIRED LEVEL OF FINISH.
- 6.0 ROOF DEMOLITION**
6.1 RETAIN ALL (e)GUTTERS AND DOWNPIPES UNLESS SPECIFICALLY NOTED OTHERWISE
6.2 COMPLY WITH OH & S WORKCOVER REQUIREMENTS WHEN WORKING ON ROOF
- 7.0 FLOOR DEMOLITION**
7.1 WHERE FLOOR FINISHES NOTED FOR DEMOLITION, DEMOLITION WORKS TO INCLUDE THE SURFACE FINISH, ANY SKIRTINGS, COVERING STRIPS AND OTHER ACCESSORIES THAT MAY BE PRESENT. WORKS ARE ALSO TO INCLUDE THE REMOVAL OF ALL UNDERLAYS, ADHESIVES, FIXINGS & DIVIDER STRIPS THAT MAY HAVE BEEN CONCEALED BY THE FINISHES
7.2 CONTRACTOR IS TO ALLOW TO PREPARE THE AREAS AFFECTED BY DEMOLITION WORKS ACCORDINGLY FOR ALL NEW FLOOR FINISHES SPECIFIED TO ACHIEVE COMPLIANCE WITH ALL RELEVANT STANDARDS.
7.3 WHERE DEMOLISHING FLOOR TILES, SCABBLE BACK AND TOP AS REQUIRED FOR NEW FLOOR FINISHES.
- 8.0 MECHANICAL DEMOLITION**
8.1 REFER TO MECHANICAL ENGINEERS DOCUMENTATION FOR SCOPE OF WORKS.
8.2 UNLESS NOTED OTHERWISE, ALL UNITS IN WORK AREAS ARE TO REMAIN IN PLACE.
8.3 WHERE AFFECTED BY NEW WORKS, RELOCATE HEAD UNIT AND CONTROLLERS, RE-GAS, AND RECOMMISSION EXISTING UNITS.
8.4 WHERE UNITS ARE BEING DECOMMISSIONED, UNINSTALL AND SALVAGE THE UNIT AND AND PARTS, AND RETURN TO SCHOOL FOR REUSE.

REPORTS:

BUSHFIRE REPORT: FOR DETAILED ASSESSMENTS AND REQUIREMENTS, REFER TO THE BUSHFIRE ASSESSMENT REPORT, PREPARED BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD. DATED 24TH DECEMBER 2022.

ALL NEW CONSTRUCTION SHALL COMPLY WITH SECTIONS 3 & 5 (BAL 12.5) OF THE AUSTRALIAN STANDARDS AS 3959-2018 'CONSTRUCTION OF BUILDINGS IN BUSH FIRE-PRONE AREAS AND SECTION 7.5 OF 'PLANNING FOR BUSH FIRE PROTECTION 2019'.

A	LDw	22/01/2023	Initial Issue
C	JAV	24/03/2023	DA Issue
No	Initial	DATE	REVISION DETAILS

CLIENT

Catholic Schools Broken Bay

Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715



PROJECT

St John Fisher Catholic Primary School
2 Hicks Lane, Tumby Umbi, NSW, 2261
New Classroom & Amenities Building



DRAWING TITLE

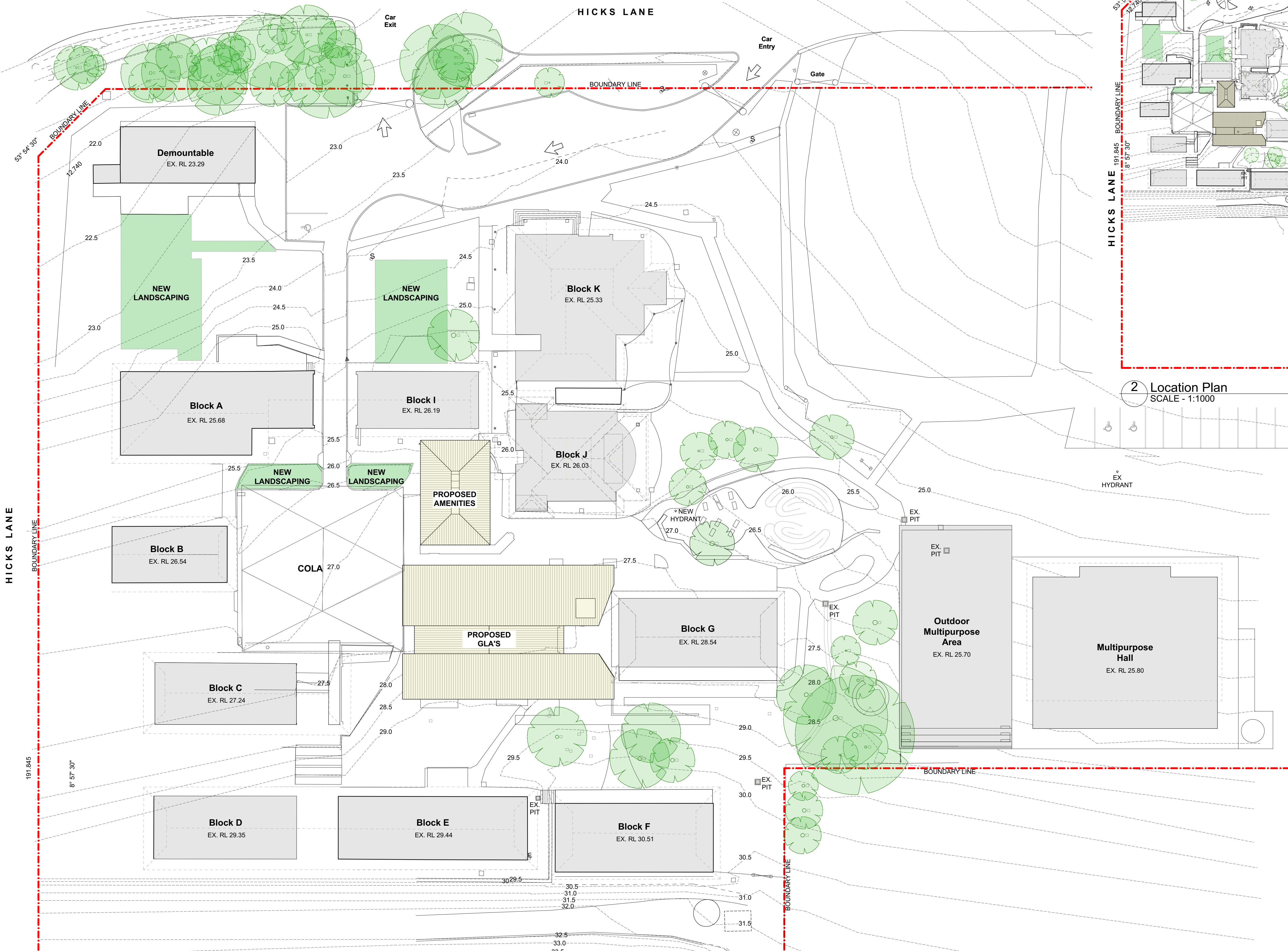
Development Application

DA Notes

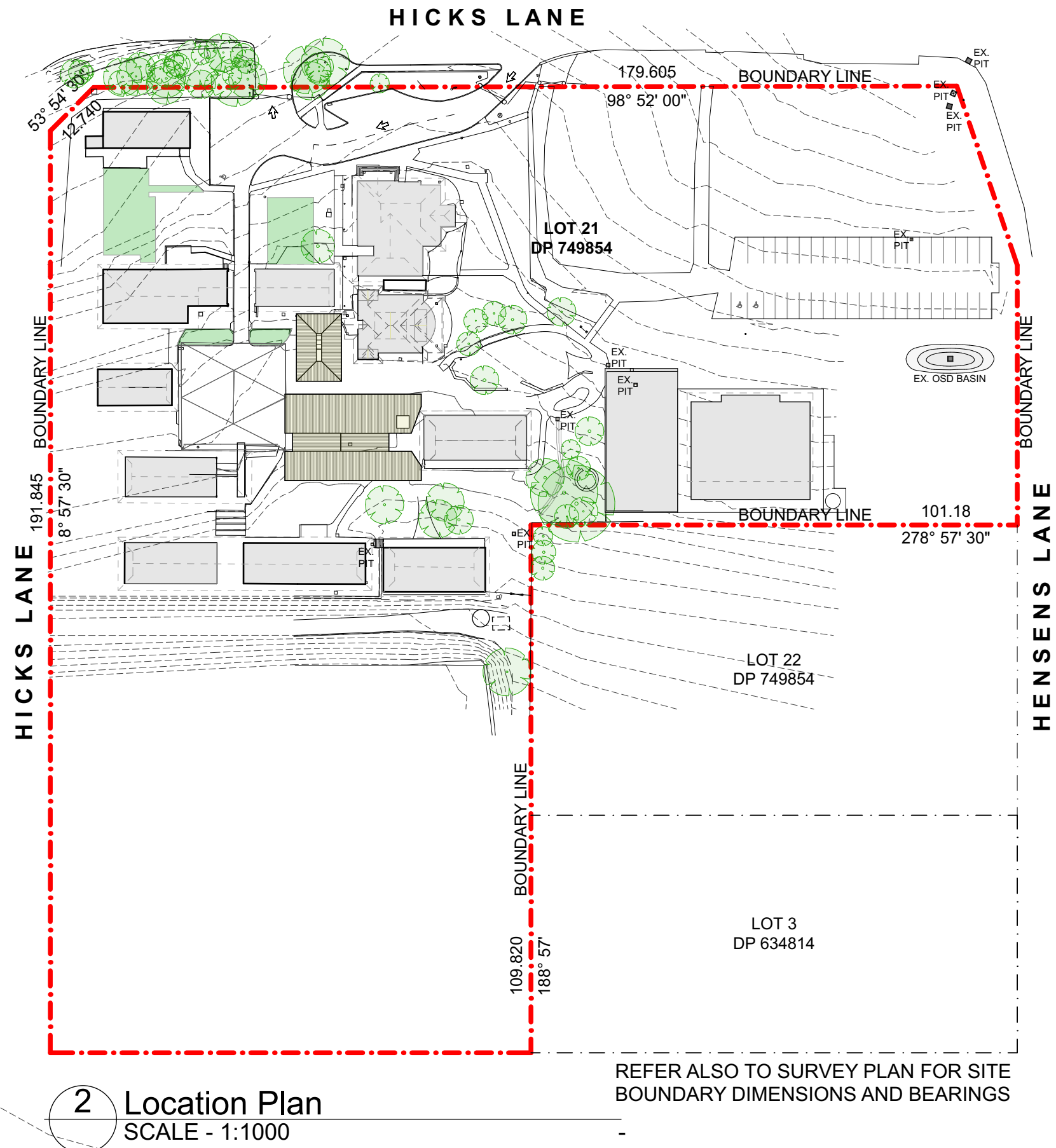
PROJECT No		DRAWING No		REVISION	
21027		DA002		C	
DRAWING SCALE	SHEET SIZE	DRAWN	CHECKED	DATE	
1:1	A1	LD	MMCG/LD	24/03/2023	
ARCHITECT					
Gardner Wetherill Assoc. Suite 2.01 Level 2 460 Pacific Highway St Leonards NSW 2065				T. (02) 9929 6777 E. design@gardnerwetherill.com.au A/c no. 104-660 Notwithstanding Architects - Fully Incorporated (Reg no. 14660) Allstate Road Contractor (Reg No. 3946)	

Development Application





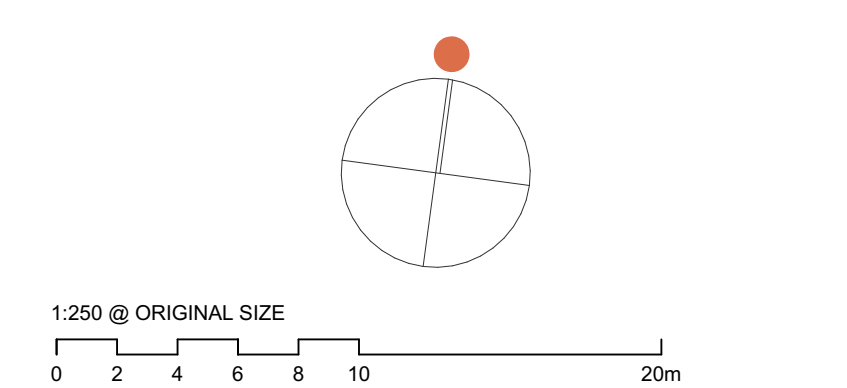
1 Site Plan
SCALE - 1:250



2 Location Plan
SCALE - 1:1000

- LEGEND
- PROPOSED BUILDING WORKS
 - NO WORKS HATCH
 - EXISTING TREES RETAINED
 - EXISTING WALLS
 - SITE BOUNDARIES
 - 95.0 CONTOUR LINES / LEVELS

A	LDw	20/01/2023	Initial Issue
B	LDw	23/02/2023	Consultants Issue - General Update
C	JAW	10/03/2023	Consultants Issue General Update
D	JAW	17/03/2023	Outdoor Learning revisions
E	JAW	24/03/2023	DA Issue
No	Initial	DATE	REVISION DETAILS



CLIENT
Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715

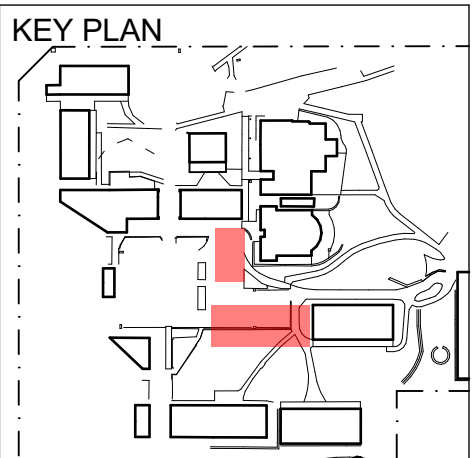
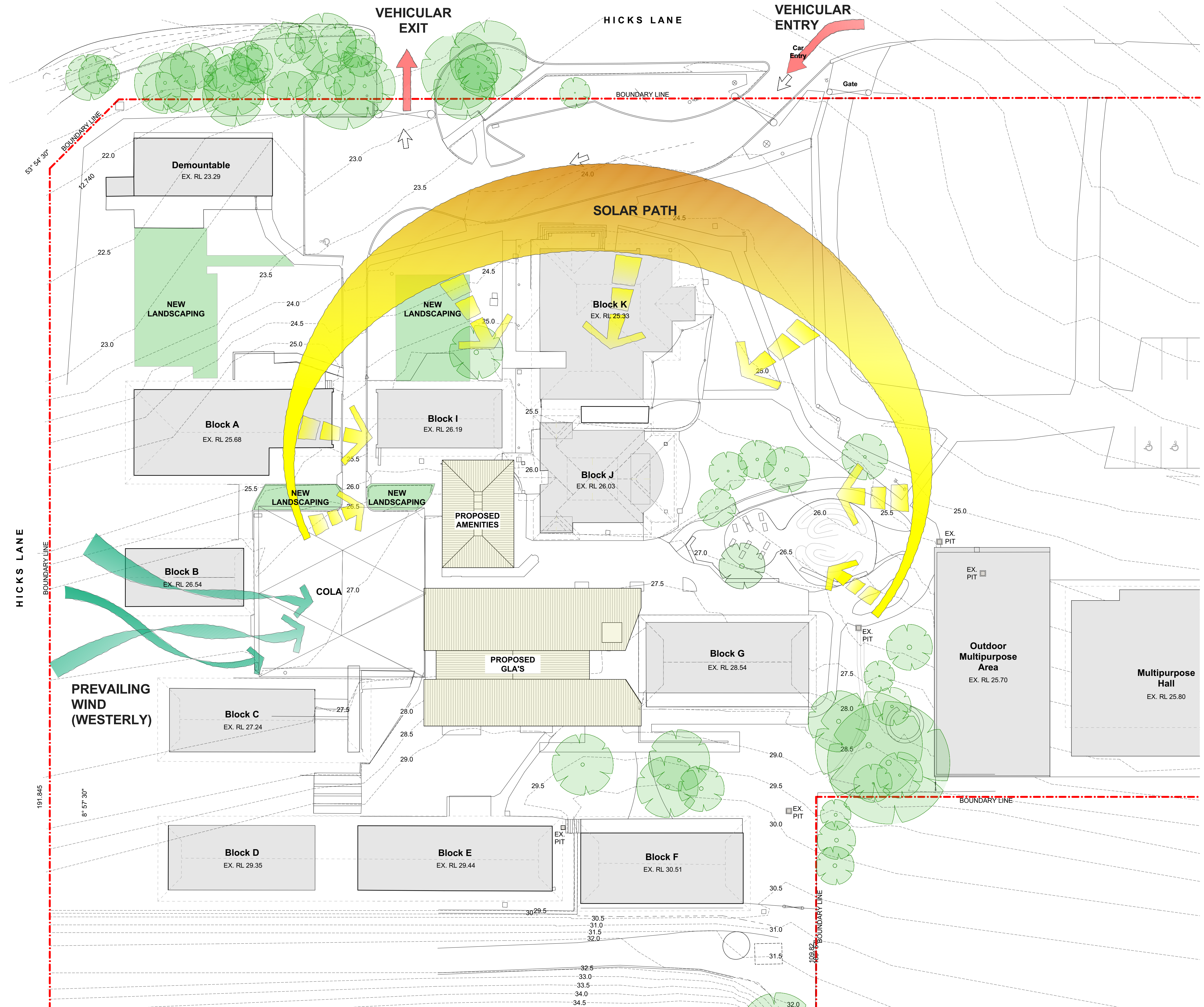
PROJECT
St John Fisher Catholic Primary School
2 Hicks Lane, Tumby Umbi, NSW, 2261
New Classroom & Amenities Building

DRAWING TITLE
Development Application
Site Plan & Location Plan

PROJECT No	DRAWING No	REVISION
21027	DA101	F
DRAWING SCALE	SHEET SIZE	DRAWN
1:250, 1:1000	A1	LD
CHECKED	DATE	
MMCG/LD	24/03/2023	
ARCHITECT	Gardner Wetherill Assoc.	T. (02) 9929 6777
	Suite 2.01 Level 2	E. design@gardnerwetherill.com.au
	460 Pacific Highway	A.C.N. 104 676 833
	St Leonards NSW 2065	Notified Architect - Tully Wetherill (Reg No. 19460)
		Alison Ross Gardner (Reg No. 3946)

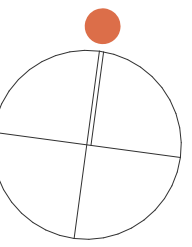
Development Application





- LEGEND**
- PROPOSED BUILDING WORKS
 - NO WORKS HATCH
 - EXISTING TREES RETAINED
 - EXISTING WALLS
 - SITE BOUNDARIES
 - CONTOUR LINES / LEVELS
 - VEHICULAR MOVEMENTS
 - PREVAILING WINDS
 - SOLAR PATH
 - NOISE SOURCE

A	Low	23/01/2023	Initial Issue
C	JAV	24/03/2023	DA Issue
No	Initial	DATE	REVISION DETAILS



1:250 @ ORIGINAL SIZE

0 2 4 6 8 10 20m

CLIENT

Catholic Schools Broken Bay

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PO Box 967,
Pennant Hills, NSW, 1715

PROJECT

St John Fisher Catholic Primary School
2 Hicks Lane, Tumbi Umbi, NSW, 2261

New Classroom & Amenities Building

DRAWING TITLE

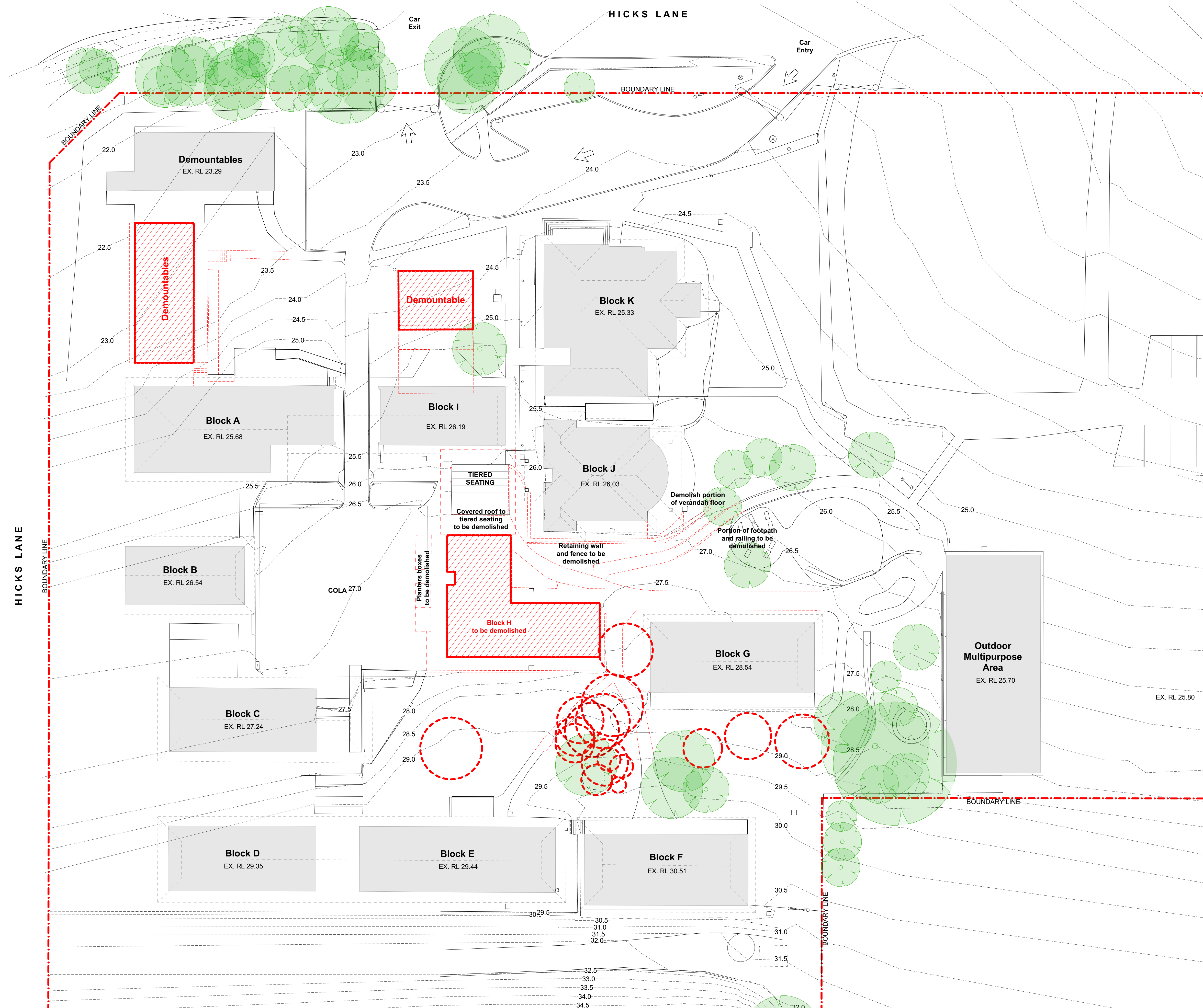
Development Application
Site Analysis Plan








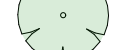
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21027	DA102	C
DRAWING SCALE	SHEET SIZE	DRAWN
1:250	A1	LD
CHECKED	DATE	
MMCG/LD	24/03/2023	
ARCHITECT	T. (02) 9929 6777 Gardner Wetherill Assoc. Suite 2.01 Level 2 460 Pacific Highway St Leonards NSW 2065	
	E. design@gardnerwetherill.com.au ACCA 104-676-883 Notwithstanding to the above, the architect is not responsible for the design of the building or the construction of the building.	

1 Site Analysis Plan
SCALE - 1:250

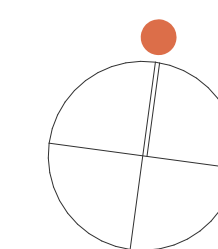
Development Application





	SITE BOUNDARIES
	CONTOUR LINES / LEVELS
	LINE OF DEOMOLISHED SITE FEATURES
	EXISTING BUILDING TO BE DEMOLISHED
	NO WORKS HATCH
	TREE NUMBER (REFER TO ARBORIST REPORT)
	EXISTING TREES RETAINED
	EXISTING TREES TO BE REMOVED

A	LDa	30/01/2023	Initial Issue
B	LDa	23/02/2023	Consultants Issue - General Update
D	JAr	19/03/2023	Consultants Issue General Update
E	JAr	17/03/2023	Outdoor Learning revisions
F	JAr	24/03/2023	DA Issue
No	Initial	DATE	REVISION DETAILS




1:250 @ ORIGINAL SIZE

0 2 4 6 8 10 20m

CLIENT

Catholic Schools Broken Bay

Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715




The logo for Catholic Schools Broken Bay features a stylized yellow cross with rays emanating from the top, positioned above three wavy blue lines representing water. To the right of the graphic, the text "CATHOLIC SCHOOLS" is written in blue, with "Broken Bay" in a smaller, italicized blue font below it.

PROJECT

St John Fisher Catholic Primary School
2 Hicks Lane, Tumby Umbi, NSW, 2261

New Classroom & Amenities Building

The logo of St John Fisher Catholic Primary School is a green shield-shaped emblem. It features a central figure, likely a religious icon, surrounded by text in a circular border. The shield is set against a white background.

DRAWING TITLE

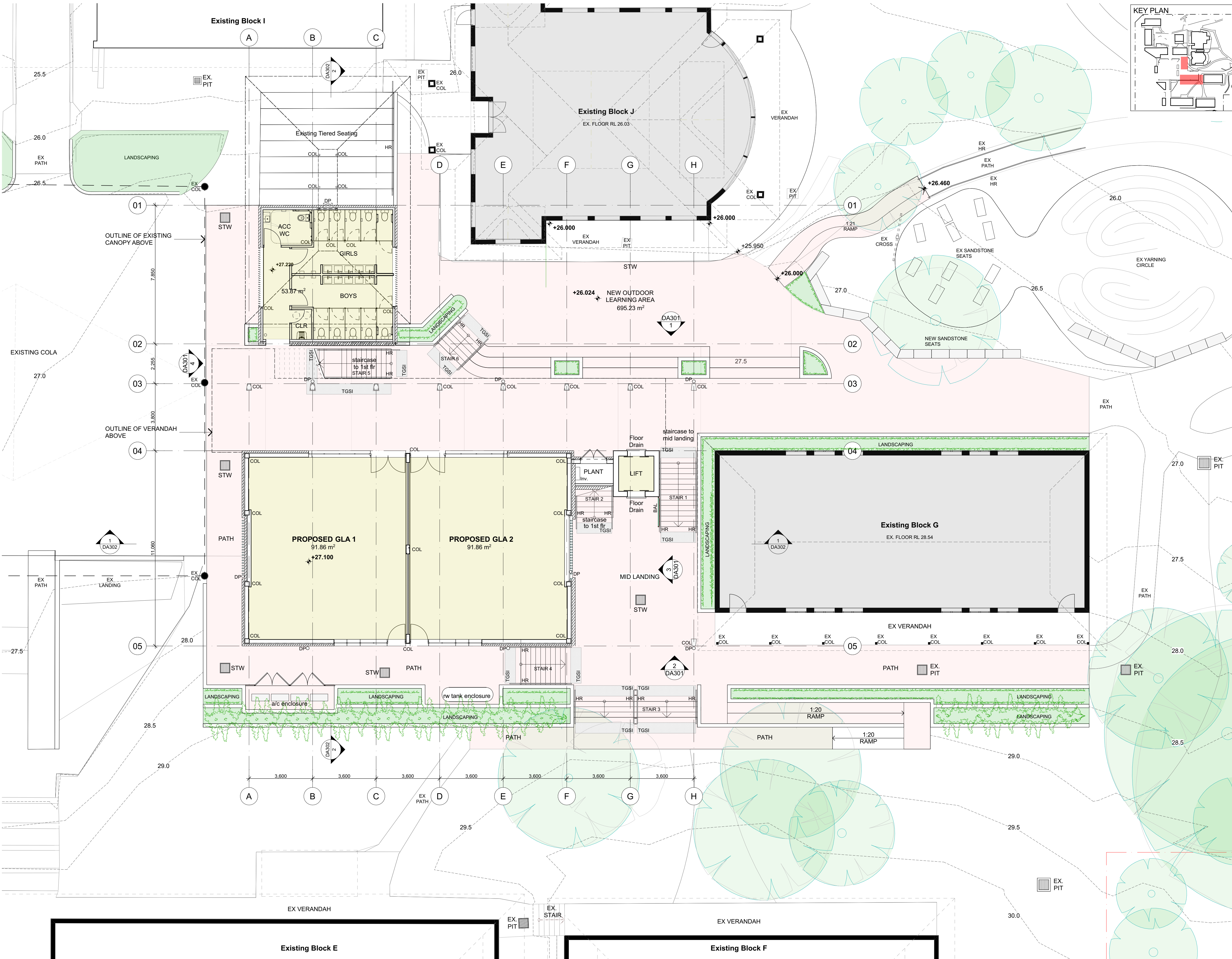
Development Application

Demolition Plan

PROJECT No		DRAWING No		REVISION
21027		DA103		F
DRAWING SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:250	A1	LD	MMCG/LD	24/03/20

ARCHITECT
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GW



GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL -	Aluminum Framed Window / Door	INS -	Insulation
AP -	Access Panel	JRY -	Joinery
BLK -	Concrete block	LAM -	Joinery Laminate
BOL -	Bollard	LVR -	Louvre
BWK -	Brickwork	MAT -	Matt
CFC -	Compressed Fibre Cement	MIR -	Mirror
CLG -	Suspended ceiling	PAV -	Paving
CMR -	Cement Render	PBD -	Plasterboard
CON -	Concrete	PC -	Precast concrete
CPT -	Carpet	PNB -	Pinboard
CTF -	Ceramic Tiles Floor	PT -	Paint Type
CTW -	Ceramic Tiles Wall	PTN -	Partition
DP -	Downpipe	SKT -	Skirting
FC -	Fibre Cement Sheet	ST -	Stone
GLZ -	Glazing	VB -	Vapour Barrier
GRN -	Granolithic topping	VNS -	Vinyl Flooring
HR -	Handrail	WPM -	Waterproof Membrane

Note: Numbers eg. 1, 2 etc following an abbreviation denote a particular type of item.
For explanation of item types refer to specification & detailed schedule of materials & finishes

SERVICES

AC -	Air Conditioning Unit	RA -	Return Air
APD -	Agricultural pipe drain	RG -	Roller Grille
CJ -	Control Joint	RHS -	Rectangular Hollow Section
COL -	Column	RWH -	Rainwater Head
DP -	Down Pipe	RWO -	Rainwater Outlet
FH -	Fire Hydrant	SE -	Smoke Exhaust
FHR -	Fire Hose Reel	SHS -	Square Hollow Section
FHW -	Fire Water Unit	TE -	Toilet Exhaust
GMS -	Galvanised Mild Steel	UB -	Universal Beam
MS -	Mild Steel	UC -	Universal Column
		WS -	Wall Stiffener

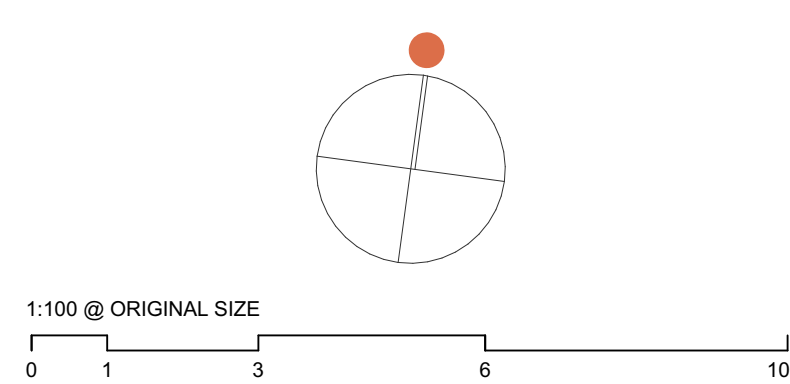
ARCHITECTURAL

APPROX -	Approximate	LVR -	Louvre
BAL -	Balustrade	LMR -	Lift Motor Room
BDY -	Boundary	MDF -	Medium Density Fibreboard
BLDG -	Building	MDR -	Metal Roofing
BOL -	Bollard	NOM -	Normal
BLK -	Face blockwork	NTS -	Not To Scale
BSN -	Basin	OF -	Overflow
BT -	Bench Top	OPW -	Operable Wall
BWK -	Face brick	PLD -	Panel Lift Door
CG -	Corner Guard	PLY -	Plywood
CL -	Centre Line	PRELIM -	Preliminary
COL -	Columns	PTD -	Paper Towel Dispenser
COS -	Check On Site	RL -	Relative Level
CPD -	Cupboard	RND -	Specialist Render
CS -	Cleaners Sink	RS -	Roller Shutter
DM -	Dimension	RT -	Roof Tiles
DPC -	Damp Proof Course	RW -	Retaining wall
EJ -	Expansion Joint	SCHED -	Schedule
EQ -	Equal	SFL -	Structural Floor Level
EX -	Existing	SHR -	Shower
FCL -	Finished Ceiling Level	SIM -	Similar
FCLW1 -	Light weight facade cladding (type 1)	SKD -	Skirting Ducted
FCKW2 -	Light weight facade cladding (type 2)	SPEC -	Specification
		SS -	Stainless Steel
		TGSI -	Tactile Ground Surface Indicators
		TIM -	Timber
		TPH -	Toilet Paper Holder
		TYP -	Typical
		US -	Underside
		UNO -	Unless Noted Otherwise
		UR -	Urinal
		WC -	Water Closet
		WPM -	Waterproof Membrane
		STW -	Stormwater Pit
		PV -	Solar Photovoltaic Panel

LEGEND

	PROPOSED BUILDING WORKS
	EXTENT OF PROPOSED EXTERNAL WORKS
	EXTENT OF PROPOSED LANDSCAPING
	NO WORKS HATCH
	EXISTING TREES RETAINED

No	Initial	DATE	REVISION DETAILS
A	LDH	20/12/2023	Initial Issue
C	JAV	10/03/2023	Consultation Issue General Update
D	JAV	17/03/2023	Outdoor Learning revisions
E	JAV	20/03/2023	Amenities access revision
F	JAV	23/03/2023	Amenities Adjustments
G	JAV	24/03/2023	DA Issue



CLIENT
Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715

PROJECT
St John Fisher Catholic Primary School
2 Hicks Lane, Tumbi Umbi, NSW, 2261
New Classroom & Amenities Building

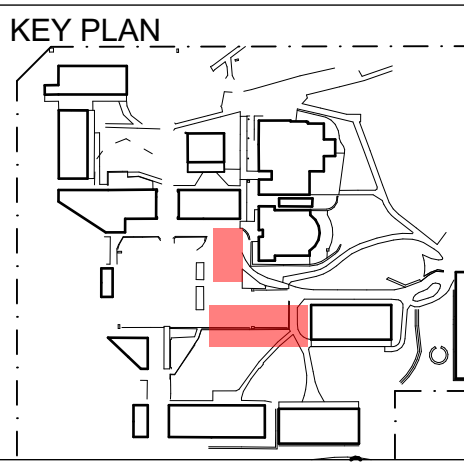
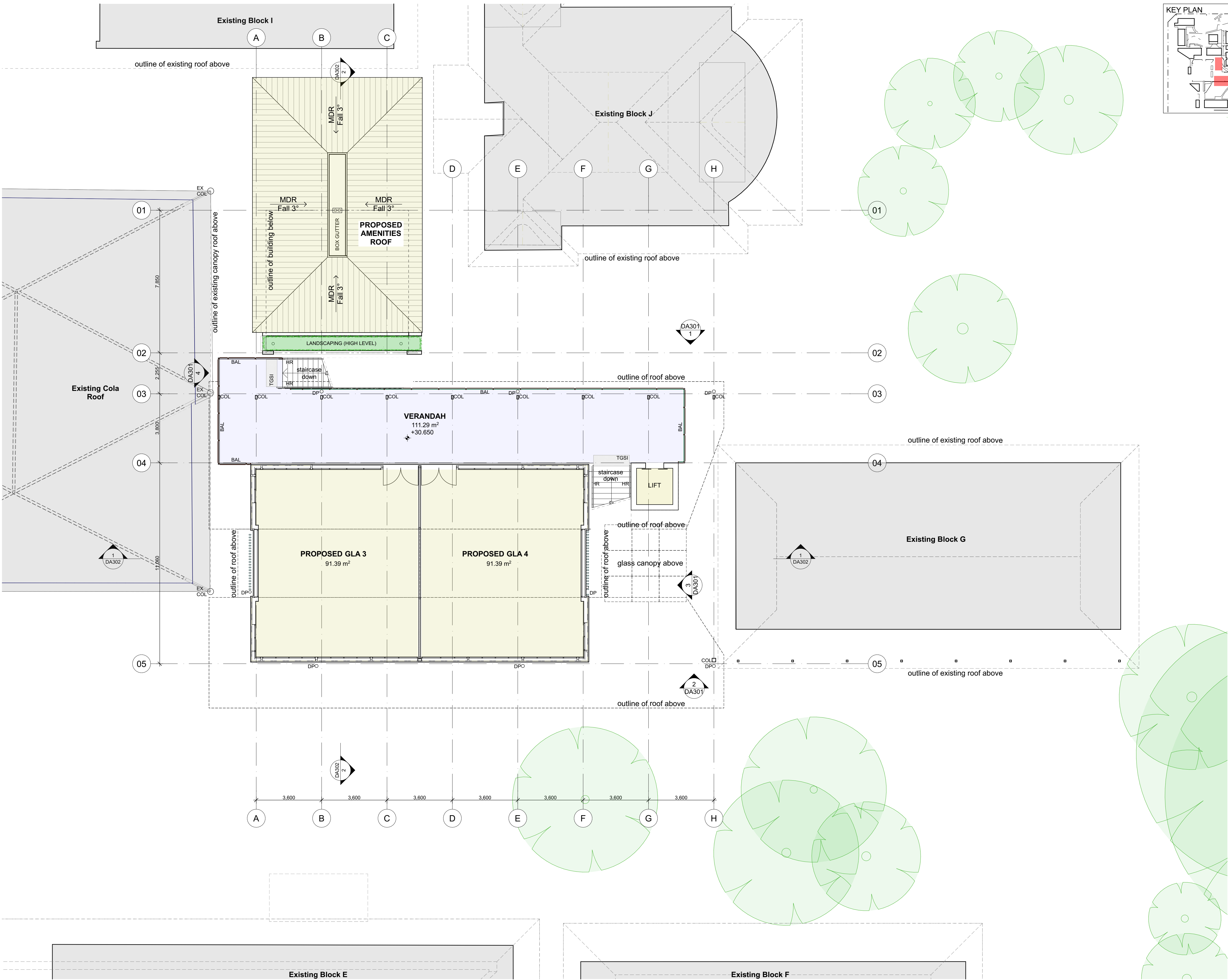
DRAWING TITLE
Development Application
Ground Floor Plan

PROJECT No	DRAWING No	REVISION
21027	DA201	G
DRAWING SCALE	SHEET SIZE	DRAWN
1:100	A1	LD
CHECKED	DATE	
MMCG/LD	24/03/2023	

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ACCA 104-036-033
Notified Architect
NSW 104-036-033
NSW 104-036-033
NSW 104-036-033



1 Ground Floor Plan
SCALE - 1:100



GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL*	Aluminium Framed Window / Door	INS*	Insulation
AP*	Access Panel	JRY*	Joinery
BLK*	Concrete block	LAM*	Joinery Laminate
BOL*	Bollard	LVR*	Louvre
BWK*	Brickwork	MAT*	Matt
CFC*	Compressed Fibre Cement	MIR*	Mirror
CLG*	Suspended ceiling	PAV1*	Paving
CMR*	Cement Render	PBD*	Plasterboard
CON*	Concrete	PC*	Precast concrete
CPT*	Carpet	PNBD*	Pinboard
CTF*	Ceramic Tiles Floor	PT*	Paint Type
CTW*	Ceramic Tiles Wall	PTN*	Partition
DP*	Downpipe	RWO*	Rainwater Outlet
FC*	Fibre Cement Sheet	SKT*	Skirting
GLZ*	Glazing	ST*	Stone
GRN*	Granolithic topping	VB*	Vapour Barrier
HR*	Handrail	VNS*	Vinyl Flooring
		WPM*	Waterproof Membrane

Note : Numbers eg. 1, 2 etc following an abbreviation denote a particular type of item.
For explanation of item types refer to specification & detailed schedule of materials & finishes

SERVICES

AC -	Air Conditioning Unit	RA -	Return Air
APD -	Agricultural pipe drain	RG -	Roller Grille
CJ -	Control Joint	RHS -	Rectangular Hollow Section
COL -	Column	RWH -	Rainwater Head
DP -	Down Pipe	RWO -	Rainwater Outlet
FH -	Fire Hydrant	SE -	Smoke Exhaust
FHR -	Fire Hose Reel	SHS -	Square Hollow Section
FW -	Floor Waste	TE -	Toilet Exhaust
HWU -	Hot Water Unit	UB -	Universal Beam
GMS -	Galvanised Mild Steel	UC -	Universal Column
MS -	Mild Steel	WS -	Wall Stiffener

ARCHITECTURAL

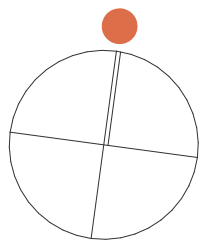
APPROX -	Approximate	LVR -	Louvre
BAL -	Balustrade	LMR -	Lift Motor Room
BDY -	Boundary	MDF -	Medium Density Fibreboard
BLDG -	Building	MDR -	Metal Roofing
BOL -	Bollard	NOM -	Nominal
BLK -	Face blockwork	NTS -	Not To Scale
BSN -	Basin	OF -	Overflow
BT -	Bench Top	OPW -	Operable Wall
BWK -	Face brick	PLD -	Panel Lift Door
CG -	Corner Guard	PLY -	Plywood
CL -	Centre Line	PRELIM -	Preliminary
COL -	Columns	PTD -	Paper Towel Dispenser
COS -	Check On Site	RL -	Relative Level
CPD -	Cupboard	RND -	Specialist Render
CS -	Cleaners Sink	RS -	Roller Shutter
DM -	Dimension	RT -	Roof Tiles
DPC -	Damp Proof Course	RW -	Retaining wall
EJ -	Expansion Joint	SCHED -	Schedule
EQ -	Equal	SFL -	Structural Floor Level
EX -	Existing	SHR -	Shower
FCL -	Finished Ceiling Level	SIM -	Similar
FCLW1 -	Light weight facade cladding (type 1)	SKD -	Skirting Ducted
FCLW2 -	Light weight facade cladding (type 2)	SPEC -	Specification
		SS -	Stainless Steel
		TGSI -	Tactile Ground Surface Indicators
		TIM -	Timber
		TPH -	Toilet Paper Holder
		TYP -	Typical
		US -	Underside
		UNO -	Unless Noted Otherwise
		UR -	Urinal
		WC -	Water Closet
		WPM -	Waterproof Membrane
		STW -	Stormwater Pit
		PV -	Solar Photovoltaic Panel

LEGEND

	PROPOSED BUILDING WORKS
	EXTENT OF PROPOSED EXTERNAL WORKS
	EXTENT OF PROPOSED LANDSCAPING
	NO WORKS HATCH
	EXISTING TREES RETAINED

A	LDs	20/01/2023	Initial Issue
C	JW	10/02/2023	Consultants Issue General Update
D	JW	24/02/2023	DA Issue

No	Initial	DATE	REVISION DETAILS
----	---------	------	------------------



1:100 @ ORIGINAL SIZE
0 1 3 6 10m

CLIENT

Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715



PROJECT

St John Fisher Catholic Primary School
2 Hicks Lane, Tumby Umbi, NSW, 2261
New Classroom & Amenities Building



DRAWING TITLE

Development Application
Level 1 Floor Plan

PROJECT No	DRAWING No	REVISION
21027	DA202	D
DRAWING SCALE	SHEET SIZE	DRAWN
1:100	A1	LD
CHECKED	DATE	
MMCG/LD	24/03/2023	

ARCHITECT

Gardner Wetherill Assoc.
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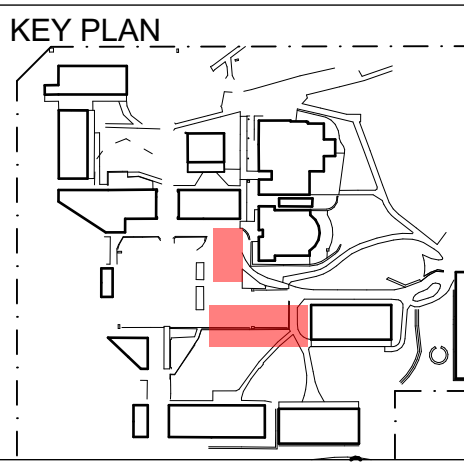
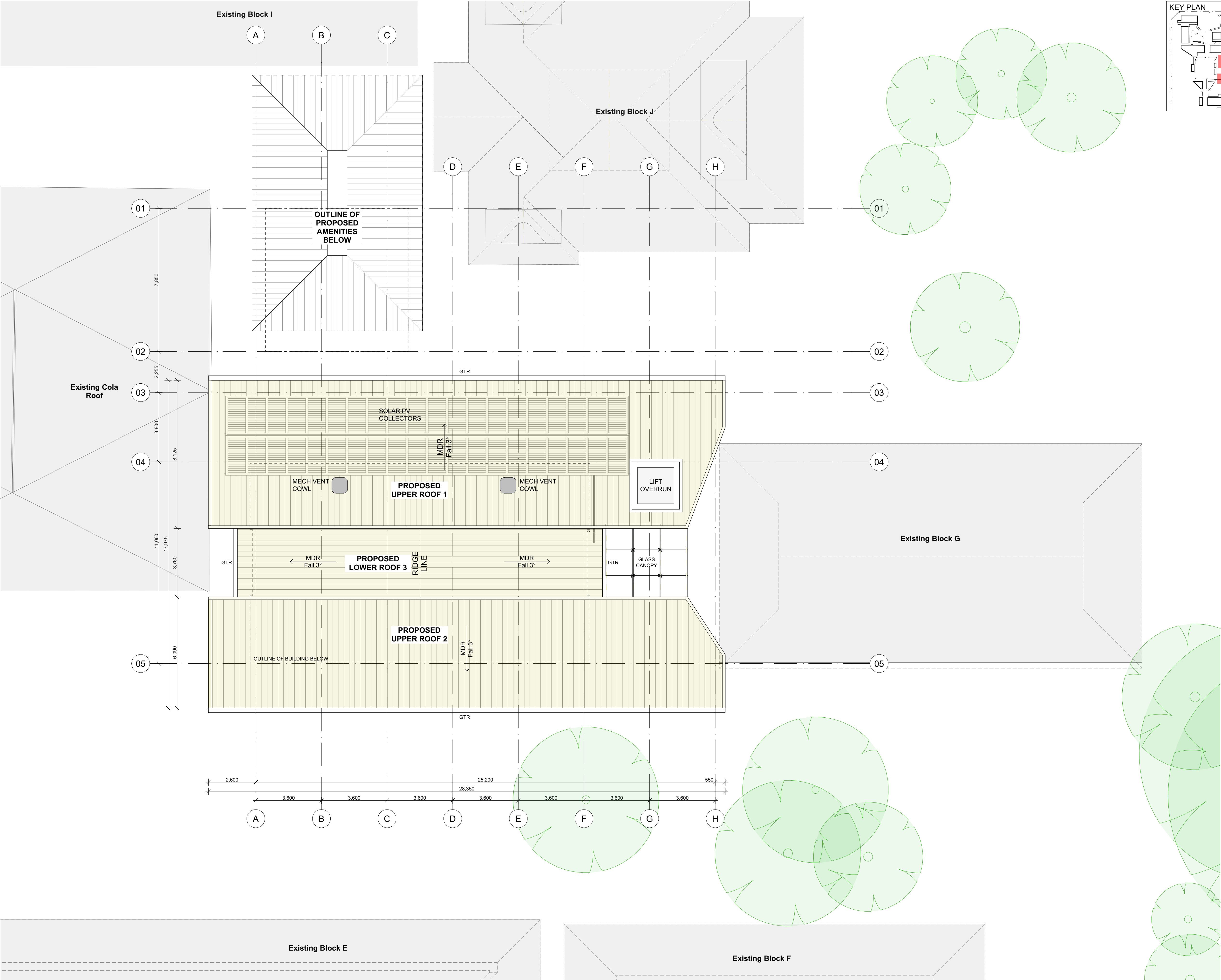
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Accredited Architects - Tally Ho (Reg No. 14662)
Allstate Recs Gardner (Reg No. 3946)



Development Application

1 Level 1 Floor Plan
SCALE - 1:100



GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL - Aluminium Framed Window / Door	INS - Insulation
AP - Access Panel	JRY - Joinery
BLK - Concrete block	LAM - Joinery Laminate
BOL - Bollard	LVR - Louvre
BWK - Brickwork	MAT - Mat
CFC - Compressed Fibre Cement	MIR - Mirror
CLG - Suspended ceiling	PAV - Paving
CMR - Cement Render	PBD - Plasterboard
CON - Concrete	PCN - Precast concrete
CPT - Carpet	PNB - Pinboard
CTF - Ceramic Tiles Floor	PT - Paint Type
CTW - Ceramic Tiles Wall	PTN - Partition
DP - Downpipe	SKT - Skirting
FC - Fibre Cement Sheet	ST - Stone
GLZ - Glazing	VBS - Vapour Barrier
GRN - Granolithic topping	VNS - Vinyl Flooring
HR - Handrail	WPM - Waterproof Membrane

Note : Numbers eg. 1, 2 etc following an abbreviation denote a particular type of item.
For explanation of item types refer to specification & detailed schedule of materials & finishes

SERVICES

AC - Air Conditioning Unit	RA - Return Air
APD - Agricultural pipe drain	RG - Roller Grille
CJ - Control Joint	RHS - Rectangular Hollow Section
COL - Column	RWH - Rainwater Head
DP - Down Pipe	RWO - Rainwater Outlet
FH - Fire Hydrant	SE - Smoke Exhaust
FHR - Fire Hose Reel	SHS - Square Hollow Section
FW - Floor Waste	TE - Toilet Exhaust
HWU - Hot Water Unit	UB - Universal Beam
GMS - Galvanised Mild Steel	UC - Universal Column
MS - Mild Steel	WS - Wall Stiffener

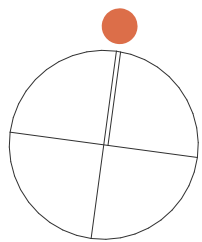
ARCHITECTURAL

APPROX - Approximate	LVR - Louvre
BAL - Balustrade	LMR - Lift Motor Room
BDY - Boundary	MD - Medium Density Fibreboard
BLDG - Building	MDR - Metal Roofing
BOL - Bollard	NOM - Nominal
BLK - Face blockwork	NTS - Not To Scale
BSN - Basin	OF - Overflow
BT - Bench Top	OPW - Operable Wall
BWK - Face brick	PLD - Panel Lift Door
CG - Corner Guard	PLY - Plywood
CL - Centre Line	PRELIM - Preliminary
COL - Columns	PTD - Paper Towel Dispenser
COS - Check On Site	RL - Relative Level
CPD - Cupboard	RND - Specialist Render
CS - Cleaners Sink	RS - Roller Shutter
DM - Dimension	RT - Roof Tiles
DPC - Damp Proof Course	RW - Retaining wall
EJ - Expansion Joint	SCHED - Schedule
EQ - Equal	SFL - Structural Floor Level
EX - Existing	SHR - Shower
FCL - Finished Ceiling Level	SIM - Similar
FCLW1 - Light weight facade cladding (type 1)	SKD - Skirting Ducted
FCLW2 - Light weight facade cladding (type 2)	SPEC - Specification
FFL - Finished Floor Level	SS - Stainless Steel
FLR - Floor	TGSI - Tactile Ground Surface Indicators
FRIG - Refrigerator	TIM - Timber
GAL - Galvanised	TPH - Toilet Paper Holder
GL - Ground Level	TYP - Typical
GLZ - Powdercoat AL, framed glaz	US - Underside
GTR - Gutter	UNO - Unless Noted Otherwise
HD - Hand dryer	UR - Urinal
HR - Handrail	WC - Water Closet
KE - Kitchen Exhaust	WPM - Waterproof Membrane
KS - Kitchen Sink	STW - Stormwater Pit
	PV - Solar Photovoltaic Panel

LEGEND

	PROPOSED BUILDING WORKS
	EXTENT OF PROPOSED EXTERNAL WORKS
	EXTENT OF PROPOSED LANDSCAPING
	NO WORKS HATCH
	EXISTING TREES RETAINED

A	LDa	20/11/2023	Initial Issue
C	JAV	10/03/2023	Consultants Issue General Update
D	JAV	20/03/2023	Super PV Panels Added
E	JAV	24/03/2023	DA Issue
No	Initial	DATE	REVISION DETAILS



1:100 @ ORIGINAL SIZE
0 1 3 6 10m

CLIENT

Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715



PROJECT

St John Fisher Catholic Primary School
2 Hicks Lane, Tumbi Umbi, NSW, 2261
New Classroom & Amenities Building



DRAWING TITLE

Development Application
Roof Plan

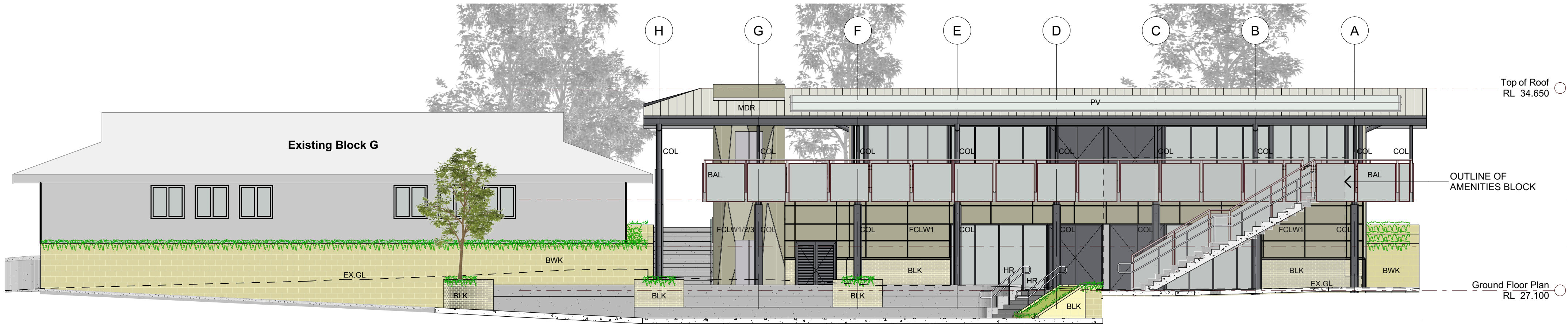
PROJECT No	DRAWING No	REVISION
21027	DA203	E
DRAWING SCALE	SHEET SIZE	DRAWN
1:100	A1	LD
CHECKED	DATE	
MMCG/LD	24/03/2023	

ARCHITECT
Gardner Wetherill Assoc.
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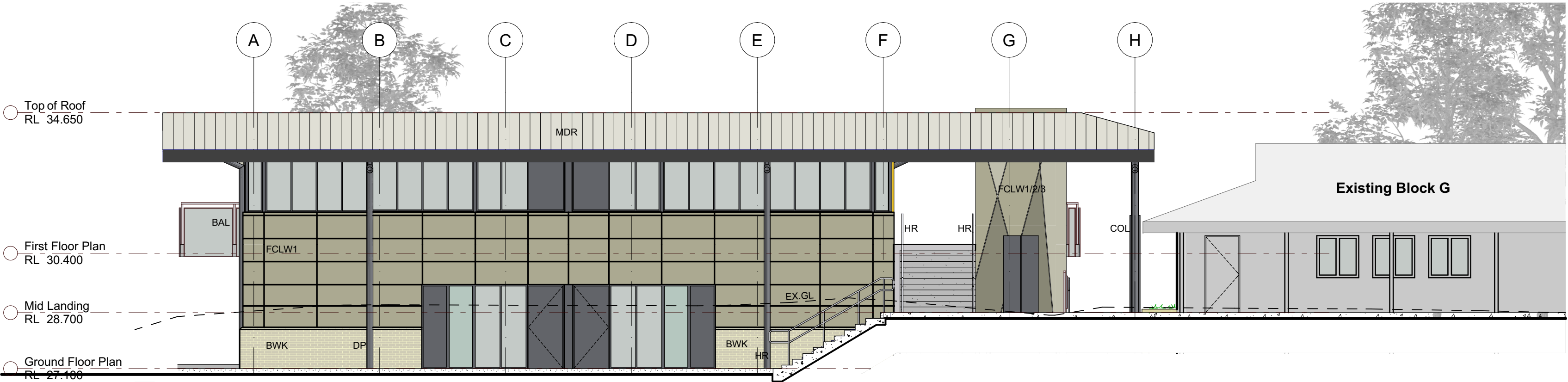
T. (02) 9929 6777
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Accredited Architects - Tully Wetherill (Reg No. 14662)
Associate Architects - Gardner (Reg No. 3946)

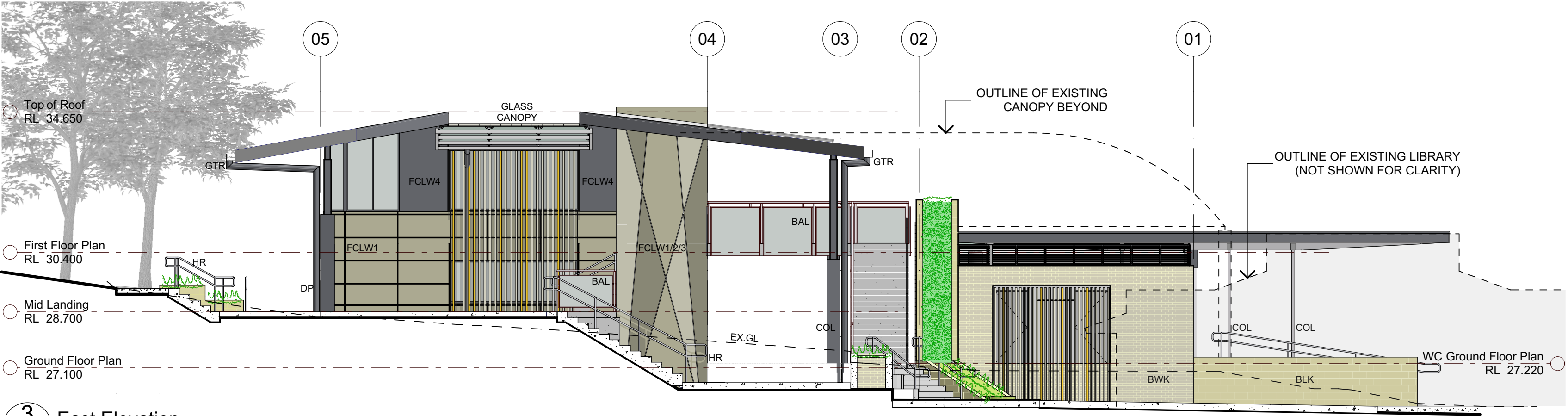




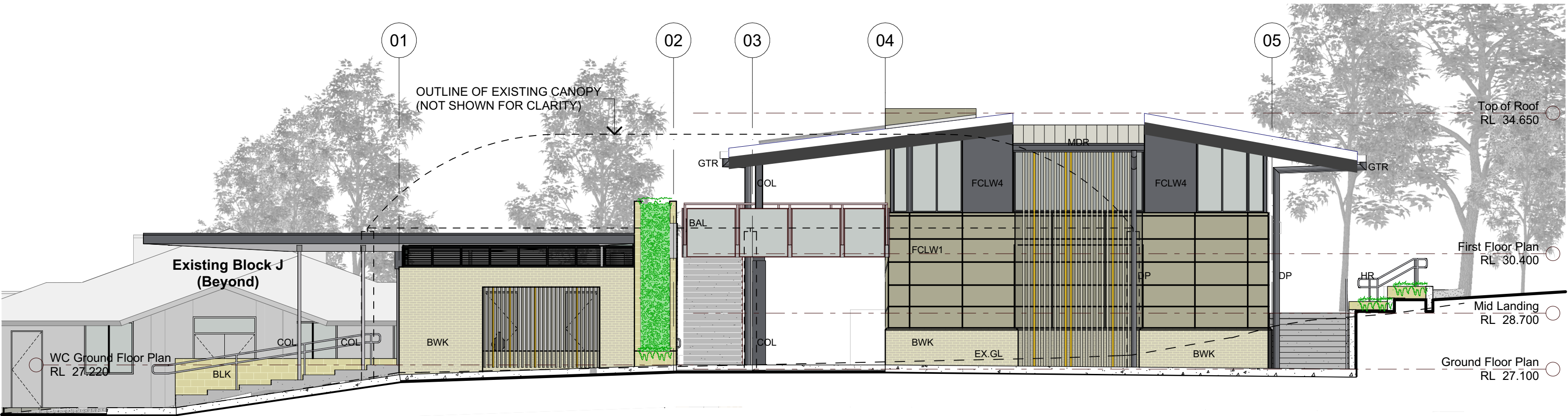
1 North Elevation
SCALE - 1:100



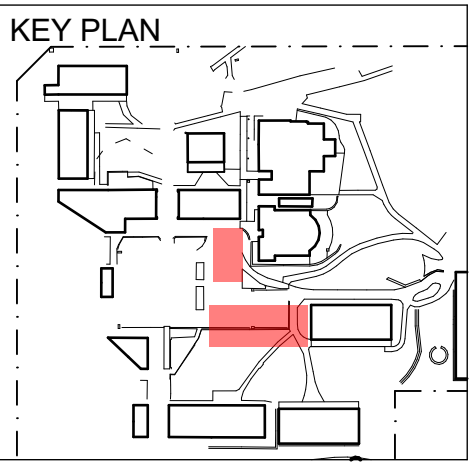
2 South Elevation
SCALE - 1:100



3 East Elevation
SCALE - 1:100



4 West Elevation
SCALE - 1:100



GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL -	Aluminum Framed Window / Door	INS -	Insulation
AP -	Access Panel	JRY -	Joinery
BLK -	Concrete block	LAM -	Joinery Laminate
BOL -	Bollard	LVR -	Louvre
BWK -	Brickwork	MAT -	Matt
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CLG -	Suspended ceiling	PAV1 -	Paving
CMR -	Cement Render	PBD -	Plasterboard
CON -	Concrete	PC -	Precast concrete
CPT -	Carpet	PNB -	Pinboard
CTF -	Ceramic Tiles Floor	PT -	Paint Type
CTW -	Ceramic Tiles Wall	PTN -	Partition
DP -	Downpipe	SKT -	Skirting
FC -	Fibre Cement Sheet	ST -	Stone
GLZ -	Glazing	VB -	Vapour Barrier
GRN -	Granolithic topping	VNS -	Vinyl Flooring
HR -	Handrail	WPM -	Waterproof Membrane

Note : Numbers eg. 1, 2 etc following an abbreviation denote a particular type of item.
For explanation of item types refer to specification & detailed schedule of materials & finishes

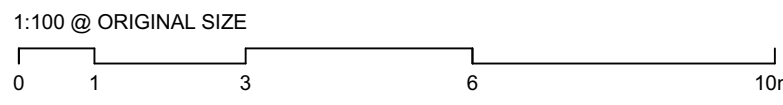
SERVICES

AC -	Air Conditioning Unit	RA -	Return Air
APD -	Agricultural pipe drain	RG -	Roller Grille
CJ -	Control Joint	RHS -	Rectangular Hollow Section
COL -	Column	RWH -	Rainwater Head
DP -	Down Pipe	RWO -	Rainwater Outlet
FH -	Fire Hydrant	SE -	Smoke Exhaust
FHR -	Fire Hose Reel	SHS -	Square Hollow Section
FW -	Floor Waste	TE -	Toilet Exhaust
HWU -	Hot Water Unit	UB -	Universal Beam
GMS -	Galvanised Mild Steel	UC -	Universal Column
MS -	Mild Steel	WS -	Wall Stiffener

ARCHITECTURAL

APPROX -	Approximate	LVR -	Louvre
BAL -	Balustrade	LMR -	Lift Motor Room
BDY -	Boundary	MDF -	Medium Density Fibreboard
BLDG -	Building	MDR -	Metal Roofing
BOL -	Bollard	NOM -	Nominal
BLK -	Face blockwork	NTS -	Not To Scale
BSN -	Basin	OF -	Overflow
BT -	Bench Top	OPW -	Operable Wall
BWK -	Face brick	PLD -	Panel Lift Door
CG -	Corner Guard	PLY -	Plywood
CL -	Centre Line	PRELIM -	Preliminary
COL -	Columns	PTD -	Paper Towel Dispenser
COS -	Check On Site	RL -	Relative Level
CPD -	Cupboard	RND -	Specialist Render
CS -	Cleaners Sink	RS -	Roller Shutter
DIM -	Dimension	RT -	Roof Tiles
DPC -	Damp Proof Course	RW -	Retaining wall
EJ -	Expansion Joint	SCHED -	Schedule
EQ -	Equal	SFL -	Structural Floor Level
EX -	Existing	SHR -	Shower
FCL -	Finished Ceiling Level	SIM -	Similar
FCLW1 -	Light weight facade cladding (type 1)	SKD -	Skirting Ducted
FCKW2 -	Light weight facade cladding (type 2)	SPEC -	Specification
		SS -	Stainless Steel
		TGSI -	Tactile Ground Surface Indicators
		TIM -	Timber
		TPH -	Toilet Paper Holder
		TR -	Typical
		US -	Underside
		UNO -	Unless Noted Otherwise
		UR -	Urinal
		WC -	Water Closet
		WPM -	Waterproof Membrane
		STW -	Stormwater Pit
		PV -	Solar Photovoltaic Panel

A	LDs	20/01/2023	Initial Issue
C	JW	18/02/2023	Consultants Issue General Update
D	JW	24/02/2023	DA Issue
No	Initial	DATE	REVISION DETAILS



CLIENT

Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715



PROJECT

St John Fisher Catholic Primary School
2 Hicks Lane, Tumbi Umbi, NSW, 2261
New Classroom & Amenities Building



DRAWING TITLE

**Development Application
Elevations**

PROJECT No	DRAWING No	REVISION
21027	DA301	D
DRAWING SCALE	SHEET SIZE	DRAWN
1:100	A1	LD
CHECKED	DATE	
MMCG/LD	24/03/2023	

ARCHITECT

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Accredited Builders (Reg No. 3946)

ACCA 104-036-033
NSW 104-036-033

Accredited Architects - Tally Ho (Reg No. 19460)
Accredited Builders (Reg No. 3946)

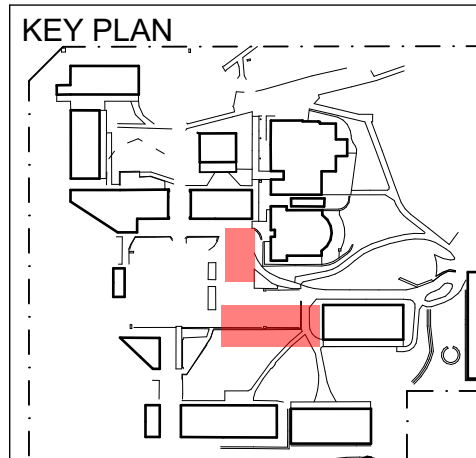
Accredited Architects - Tally Ho (Reg No. 19460)
Accredited Builders (Reg No. 3946)

Accredited Architects - Tally Ho (Reg No. 19460)
Accredited Builders (Reg No. 3946)

Accredited Architects - Tally Ho (Reg No. 19460)
Accredited Builders (Reg No. 3946)

Development Application





GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL*	Aluminum Framed Window / Door	JRS*	Insulation
AP*	Access Panel	JNY*	Joinery
BLK*	Black	JNY	Joinery Laminate
BOL*	Brickwork	LVR*	Louvre
BLK*	Brickwork	MAT*	Mat
CFC*	Compressed Fibre Cement	MIS*	Mirror
CLG*	Suspended ceiling	PAV*	Paving
CMR*	Cement Rendering	PBD*	Plasterboard
CON*	Concrete	PCB*	Precast concrete
CTF*	Ceramic Tiles Floor	PFB*	Pineboard
CTF*	Ceramic Tiles Floor	PTN*	Paint Type
CTW*	Ceramic Tiles Wall	PTN*	Partition
DP	Dowels	SKT*	Skirting
FLC*	Fibre Cement Sheet	STN*	Stone
GLZ*	Glazing	VBP*	Vapour Barrier
GRN*	Grass topping	VFL*	Vinyl Flooring
HR*	Handrail	WPM*	Waterproof Membrane

Note : Numbers eg. 1, 2 etc following an abbreviation denote a particular type of item.
For explanation of item types refer to specification & detailed schedule of materials & finish

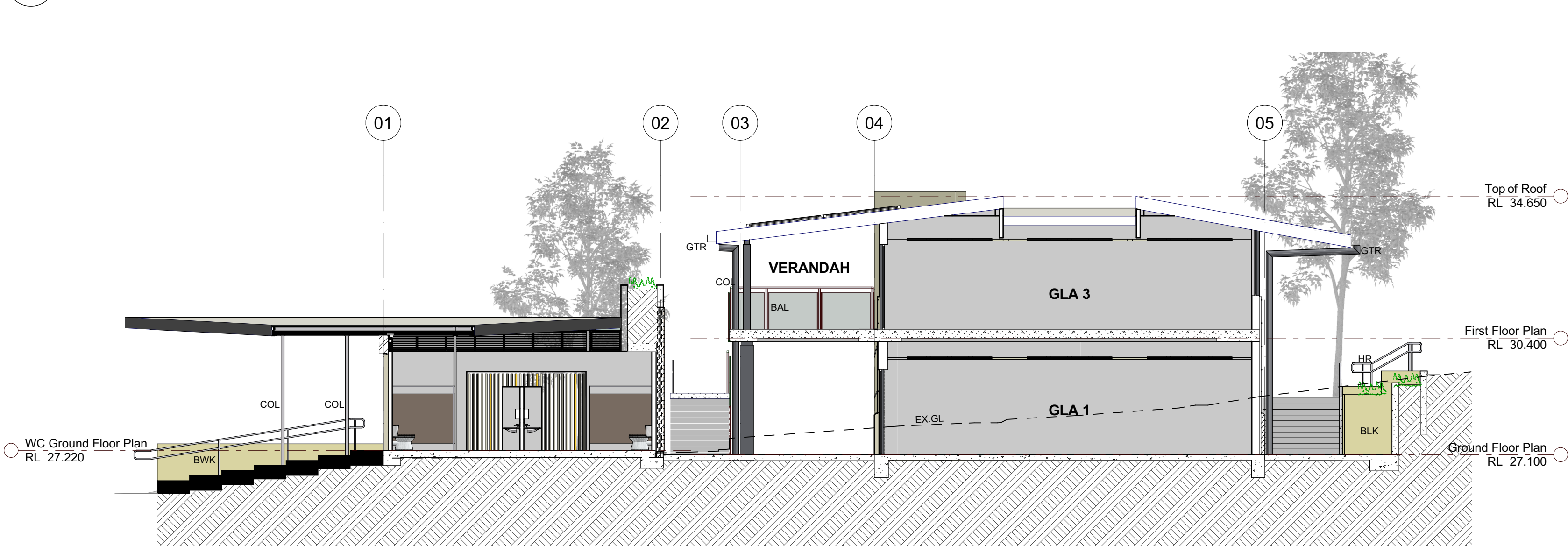
SERVICES

AC -	Air Conditioning Unit	RG -	Roller Grille
APD -	Agricultural pipe drain	RHS -	Rectangular Hollow Section
C.J -	Control Joint	RWH -	Rainwater Head
COL -	Column	RWO -	Rainwater Outlet
DP -	Down Pipe	SE -	Smoke Exhaust
FR -	Fire Hydrant	SES -	Smoke Exhaust Section
FHH -	Fire Hose Reel	TE -	Toilet Exhaust
FW -	Floor Waste	UB -	Universal Beam
HWU -	Hot Water Unit	UC -	Universal Column
GMS -	Galvanised Mild Steel	WS -	Wall Stiffener
MS -	Mild Steel		

ARCHITECTURAL

APPROX - Approximate	LVR - Louvre
BAL - Balustrade	LMR - Lift Motor Room
BOY - Boy	MDF - Medium Density Fibresheet
BLDG - Building	MDR - Metal Roofing
BOL - Bollard	NOM - Nominal
BLK - Black	NTS - Not To Scale
BSN - Batten	OF - Overflow
BT - Bench Top	OPW - Operable Wall
BWK - Face brick	PLD - Panel Lift Door
CC - Concrete	PLY - Plywood
CL - Centre Line	PRLM - Preliminary
COL - Columns	PTD - Paper Towel Dispenser
COS - Check On Site	RLD - Relative Level
CUP - Cup	SPC - Specialist Repair
CS - Cleaners Sink	RS - Roller Shutter
DM - Dimension	RT - Roof Tiles
DPC - Damp Proof Course	RTN - Retaining wall
EJ - Expansion Joint	SCHED - Schedule
EQ - Equal	SFL - Structural Floor Level
EX - Existing	SHR - Shower
FCL - Finished Ceiling Level	SIM - Similar
FCWL1 - Light weight glaze cladding (type 1)	SKD - Skirting Dado
FCWL2 - Light weight glaze cladding (type 2)	SPEC - Specification
FKCW2 - Light weight glaze cladding (type 2)	SSS - Stainless Steel
FLR - Finished Floor Level	TGS - Tactile Ground Surface
FLR - Floor	TM - Timber
FLR - Floor	TPH - Toilet Paper Holder
FRG - Refractory	Typ - Typical
GAL - Galvanised	UNS - Underside
GL - Ground Level	UNO - Unless Noted Otherwise
GLD - Woodcoated AL framed glaze	UNP - Unpainted
GTR - Gutter	WCL - Water Closet
H - Hand	WPM - Waterproof Membrane
HS - Handrail	STMW - Stormwater Pit
KH - Kitchen Exhaust	FTV - Solar Photovoltaic Panel
KS - Kitchen Sink	

1 Cross Section 1
SCALE - 1:100



2 Cross Section 2
SCALE - 1:100

A	LDa	30/01/2023	Initial Issue
C	JAr	10/03/2023	Consultants Issue General Update
D	JAr	24/03/2023	DA Issue
No	Initial	DATE	REVISION DETAILS

1:100 @ ORIGINAL SIZE


0 1 3 6 10

Catholic Schools Broken Bay

PROJECT

St John Fisher Catholic Primary School
2 Hicks Lane, Tumby Umbi, NSW, 2261

New Classroom & Amenities Building

The logo of St John Fisher Catholic Primary School is a green shield-shaped emblem. It features a central figure, likely a religious icon, surrounded by text in a circular border. The shield is set against a dark green background.

DRAWING TITLE

Development Application

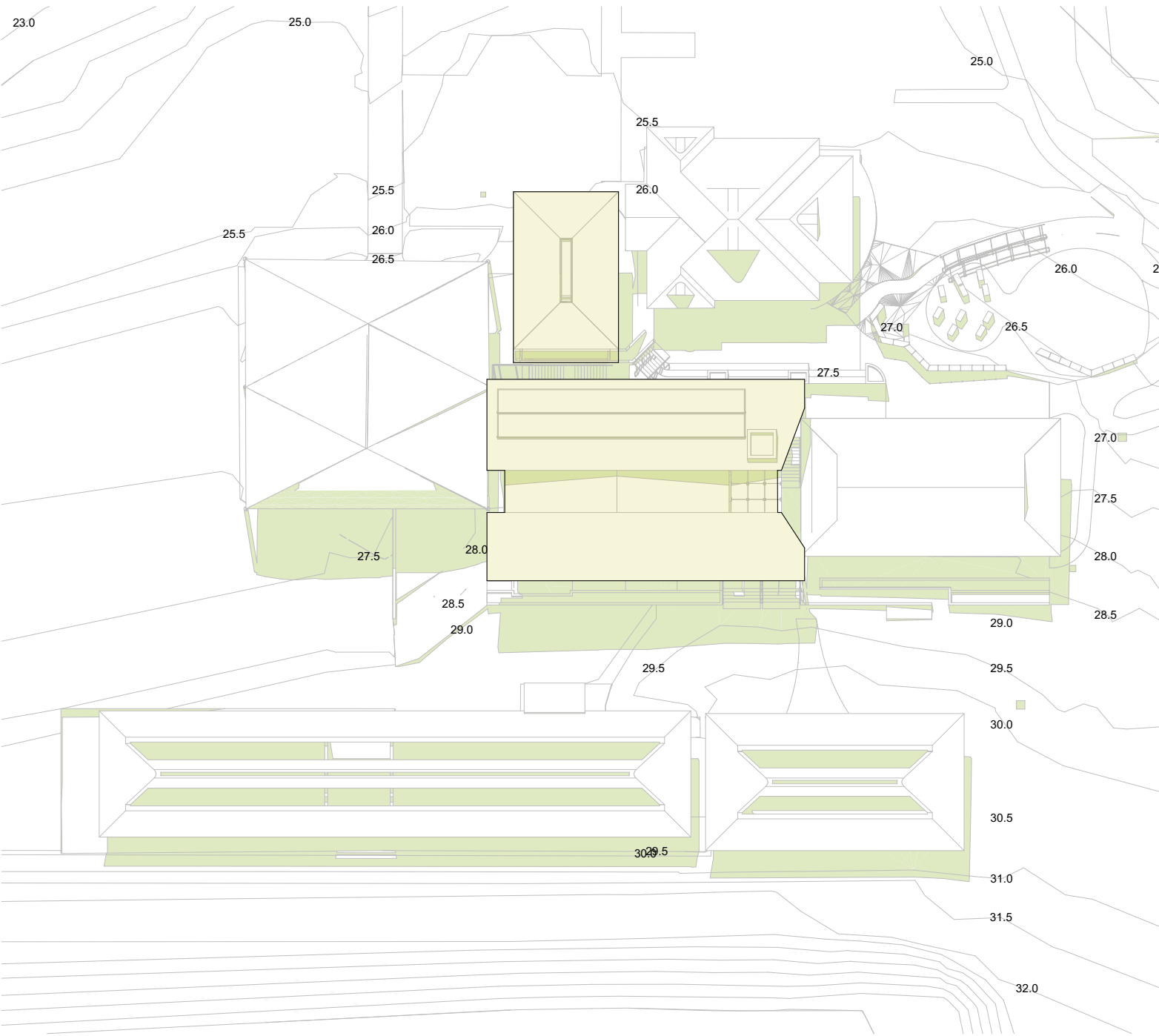
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PROJECT No		DRAWING No		REVISION
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DRAWING SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:100	A1	LD	MMCG/LD	24/03/20

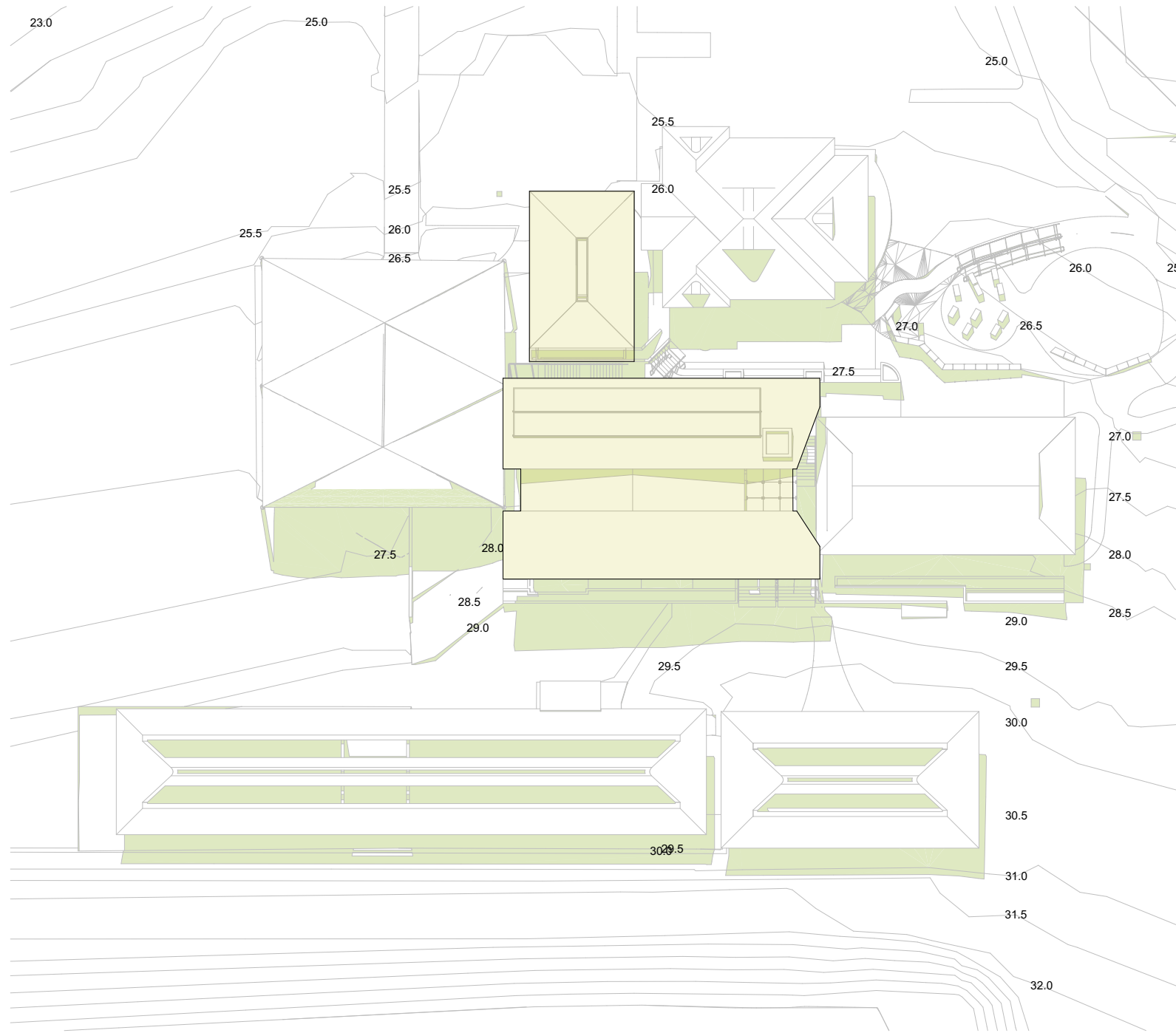
ARCHITECT
Gardner Wetherill Assoc.
Suite 2.01 Level 2
460 Pacific Highway
St Leonards NSW 2065
T. (02) 9929 6111
E. design@gardnerwetherill.com
A.C.N. 104 411 123
Nominated Architects - Tony Wetherill (Reg No. 10441)
Aislinn Ross Gardner (Reg No. 10442)

Development Application

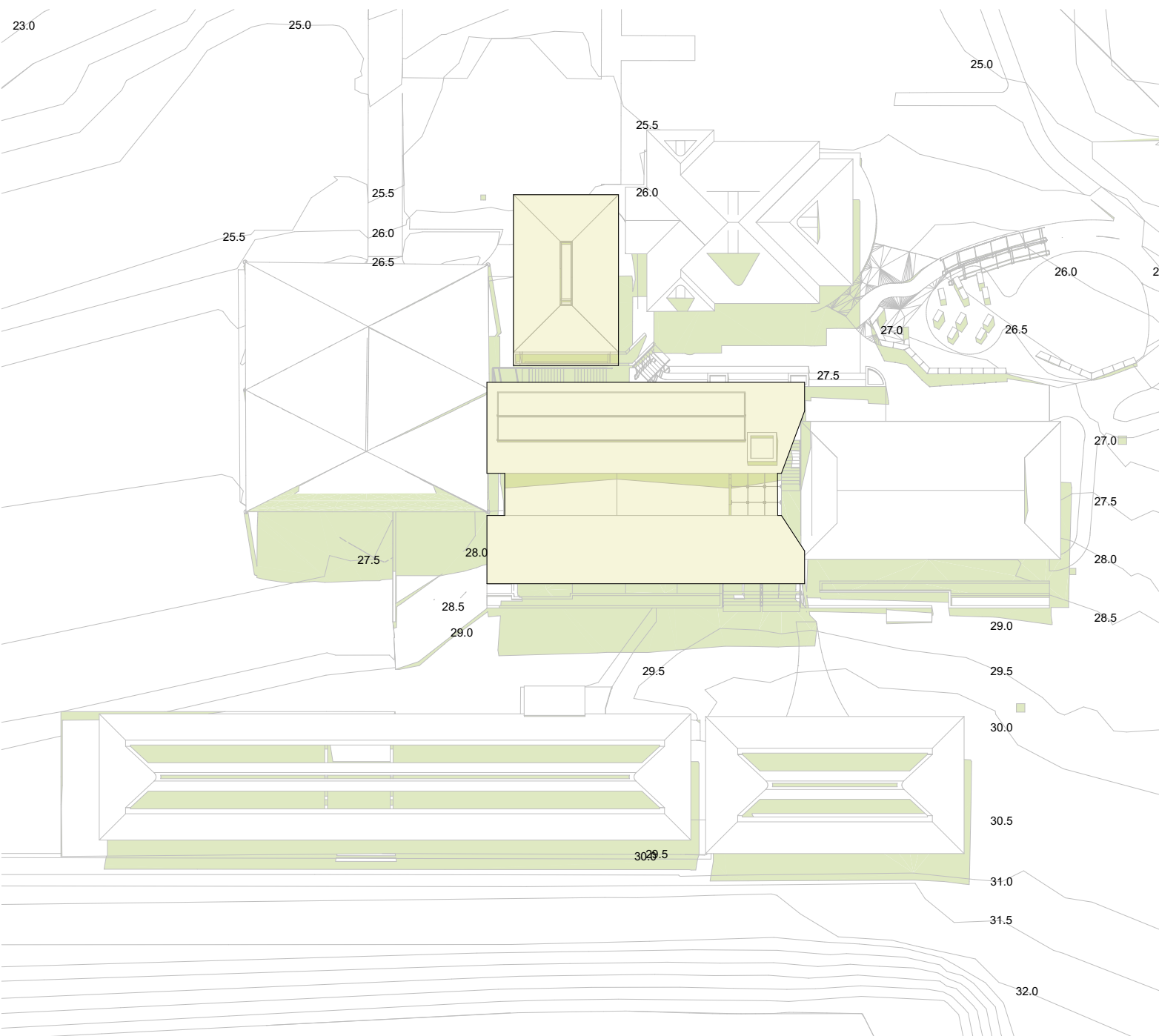
GW



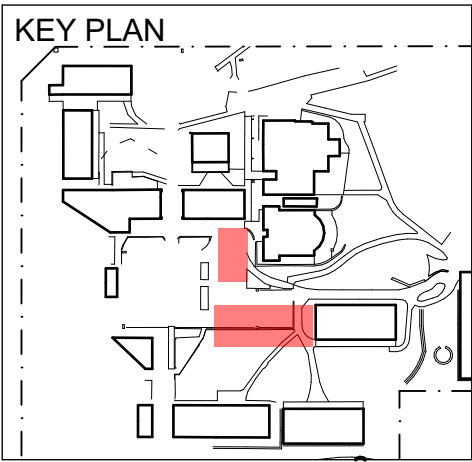
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SCALE - 1:500



2 Shadow Diagram June 21 12pm
SCALE - 1:500



3 Shadow Diagram June 21 3pm
SCALE - 1:500



LEGEND

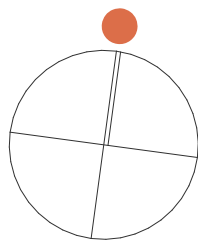
--- SITE BOUNDARIES

--- 95.0 --- CONTOUR LINES / LEVELS

PROPOSED BUILDING WORKS

SHADOWS

No	Initial	DATE	REVISION DETAILS
----	---------	------	------------------



1:500 @ ORIGINAL SIZE
0 10 20 30 50m

CLIENT

Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715



PROJECT

St John Fisher Catholic Primary School
2 Hicks Lane, Tumby Umbi, NSW, 2261
New Classroom & Amenities Building



DRAWING TITLE

Development Application
Shadow Diagrams

PROJECT No		DRAWING No		REVISION
21027		DA401		B
DRAWING SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:500	A1	LD	MMCG/LD	24/03/2023

ARCHITECT

Gardner Wetherill Assoc.
Suite 2.01 Level 2
460 Pacific Highway
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T. (02) 9929 6777
E. design@gardnerwetherill.com.au

Accredited Architects - Tully Wetherill (Reg No. 19460)
Associate Architects - St Leonards NSW 2065



Development Application



Perspective - East

07

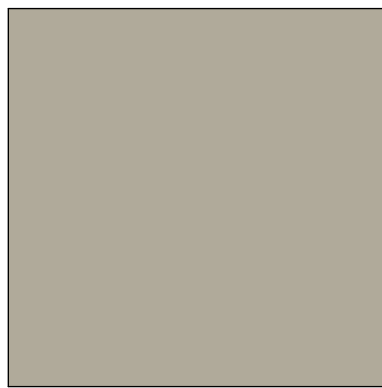
07

01

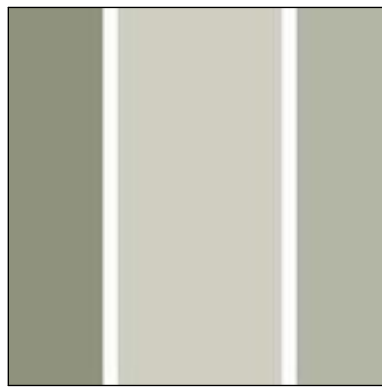
05

02

08



1. WALL CLADDING FINISH:
COLOUR: OYSTER LINEN



2. WALL CLADDING (LIFT SHAFT) FINISH:
COLOUR: OYSTER LINEN VARIATIONS



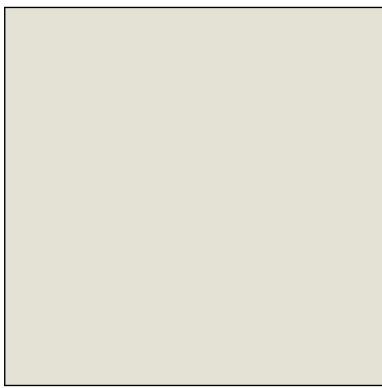
3. WALL CLADDING FINISH:
COLOUR: ANTHRACITE GREY



4. WINDOWS / DOORS FINISH:
COLOUR: ANTHRACITE GREY



5. METAL VERTICAL BLADES FINISH:
COLOUR: VARIOUS COLOURS



6. METAL ROOFS FINISH:
COLOUR: SURFMIST



7. BRICKWORK FINISH:
COLOUR: CHILLINGHAM WHITE



8. BLOCKWORK FINISH:
COLOUR: SMOOTH HONED FINISH



Perspective - West

03

01



07

04

07

05

A	LDW	23/01/2023	Initial Issue
C	JWV	24/03/2023	DA Issue
No	Initial	DATE	REVISION DETAILS

CLIENT		Catholic Schools Broken Bay			
Catholic Schools Broken Bay		PO Box 967,		Pennant Hills, NSW, 1715	
PROJECT		St John Fisher Catholic Primary School			
2 Hicks Lane, Tumbi Umbi, NSW, 2261		New Classroom & Amenities Building			
DRAWING TITLE		Development Application		3D Perspectives & External Finishes	

PROJECT No	DRAWING No	REVISION
21027	DA402	C
DRAWING SCALE	SHEET SIZE	DRAWN
	A1	LD
CHECKED	DATE	
MMCG/LD	24/03/2023	

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Development Application